

PARKSIDE APARTMENTS & PARKSIDE CONDOMINIUMS

PROPOSED CHAPTER 40B RESIDENTIAL PROJECT

383-385 WASHINGTON STREET BRAINTREE, MASSACHUSETTS

FEBRUARY 2, 2017



IMAGE FROM 2016 GOOGLE MAPS

LOCUS AERIAL
NTS

SHEETS

1. COVER SHEET
2. EXISTING CONDITIONS
3. CONSTRUCTION MANAGEMENT
4. PROPOSED SUBDIVISION
5. PROPOSED SITE LAYOUT
6. PROPOSED SITE GRADING
7. PROPOSED SITE UTILITIES
8. PROPOSED UTILITY PROFILE
9. CONSTRUCTION DETAILS
10. CONSTRUCTION DETAILS

APPLICANT

383 WASHINGTON STREET, LLC
THE HOLLAND COMPANIES
519 ALBANY STREET, SUITE 200
BOSTON, MA 02118

CIVIL/SURVEY

DECILLE-BURKE & ASSOCIATES
1266 FURNACE BROOK PARKWAY
SUITE 401
QUINCY, MA 02169

ARCHITECT

VMY ARCHITECTS, LLC
188 NEEDHAM STREET
NEWTON, MA 02464-1560



REVISIONS:	
No.	DATE





GENERAL NOTES:

ZONING: GENERAL BUSINESS

MINIMUM REQUIREMENTS:
AREA: 15,000 S.F.
FRONT SETBACK: 10'
SIDE SETBACK: 10'
REAR SETBACK: 20'
LOT FRONTAGE/WIDTH: 50'/100'
MAX HEIGHT: 3 STY
BUILDING COVERAGE: 70%
MIN OPEN SPACE: 10%

ZONING: RESIDENCE B

MINIMUM REQUIREMENTS:
AREA: 15,000 S.F.
FRONT SETBACK: 20'
SIDE SETBACK: 10'
REAR SETBACK: 30'
LOT FRONTAGE/WIDTH: 50'/100'
MAX HEIGHT: 3 STY
BUILDING COVERAGE: 35%
MIN OPEN SPACE: 30%

CURRENT OWNER:
383 WASHINGTON STREET LLC

DEED REFERENCE:
Book 30862 Page 314

PLAN REFERENCE:
Book 455 Page 272
Book 4284 Page 179
LC PLAN 3751D

PROJECT TITLE & LOCATION:

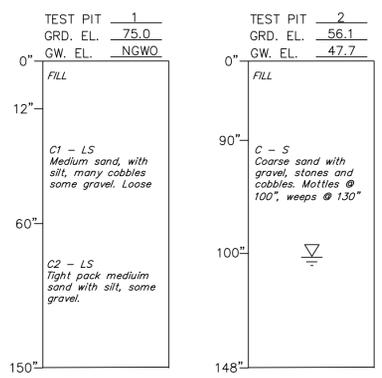
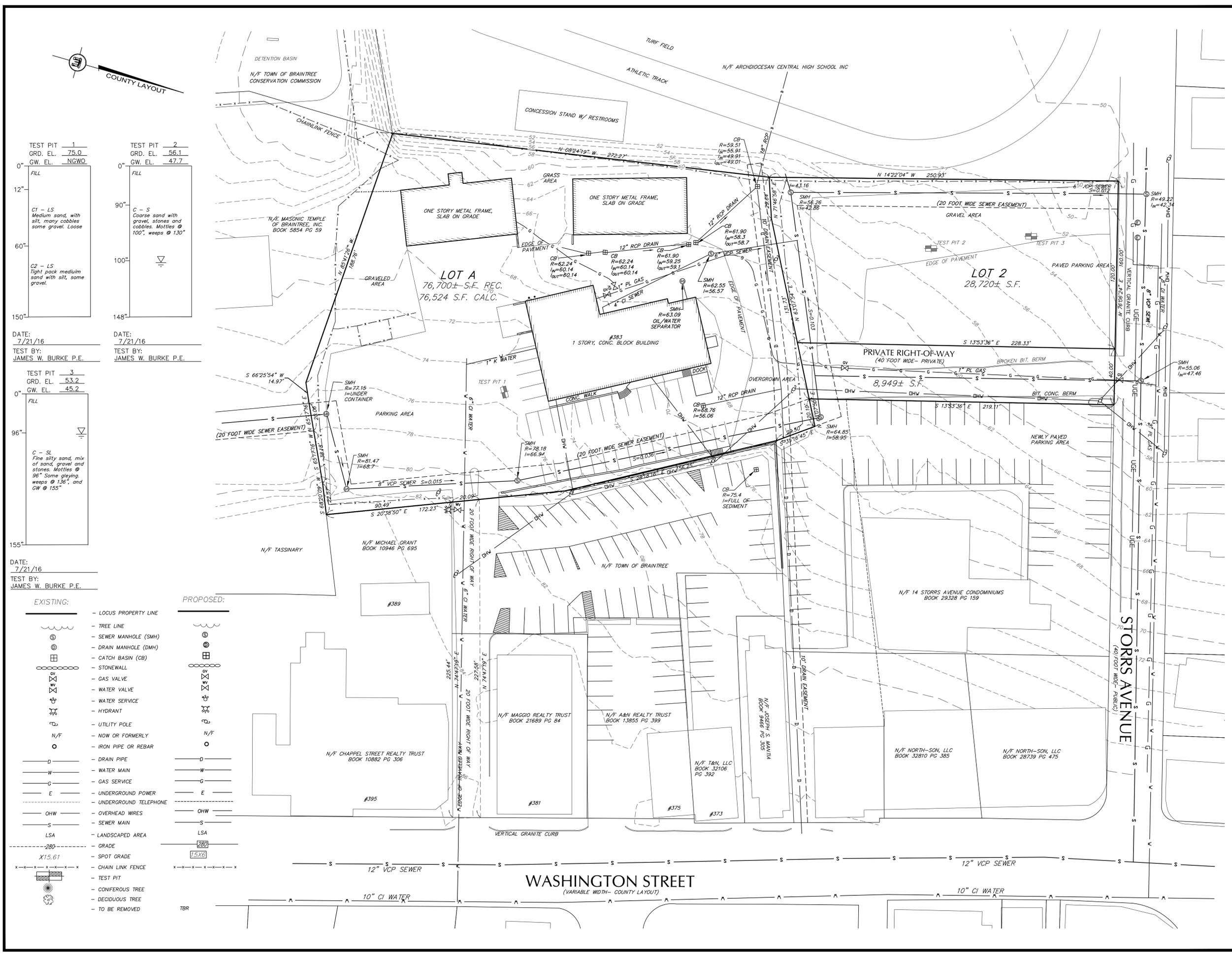
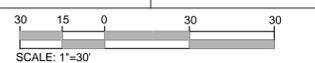
**PARKSIDE APARTMENTS &
PARKSIDE CONDOMINIUMS**
40B RESIDENTIAL PROJECT
383-385 WASHINGTON STREET
BRAINTREE, MA

PLAN TITLE:
EXISTING CONDITIONS

PREPARED FOR:
THE HOLLAND COMPANIES
519 ALBANY STREET
SUITE 200
BOSTON, MA 02118

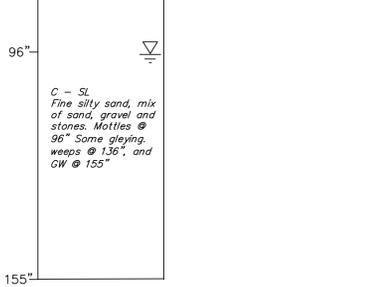
DATE: FEBRUARY 2, 2017
REVISED:

JOB NUMBER: 185.033 SHEET 2 OF 10



DATE: 7/21/16
TEST BY: JAMES W. BURKE P.E.

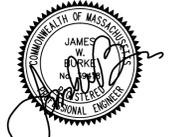
DATE: 7/21/16
TEST BY: JAMES W. BURKE P.E.



DATE: 7/21/16
TEST BY: JAMES W. BURKE P.E.

- EXISTING:**
- LOCUS PROPERTY LINE
 - TREE LINE
 - SEWER MANHOLE (SMH)
 - DRAIN MANHOLE (DMH)
 - CATCH BASIN (CB)
 - STONEWALL
 - GAS VALVE
 - WATER VALVE
 - WATER SERVICE
 - HYDRANT
 - UTILITY POLE
 - NOW OR FORMERLY
 - IRON PIPE OR REBAR
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 - GAS SERVICE
 - UNDERGROUND POWER
 - UNDERGROUND TELEPHONE
 - OVERHEAD WIRES
 - SEWER MAIN
 - LANDSCAPED AREA
 - GRADE
 - SPOT GRADE
 - CHAIN LINK FENCE
 - TEST PIT
 - CONIFEROUS TREE
 - DECIDUOUS TREE
 - TO BE REMOVED
- PROPOSED:**
- DRAIN PIPE
 - WATER MAIN
 - GAS SERVICE
 - UNDERGROUND POWER
 - UNDERGROUND TELEPHONE
 - OVERHEAD WIRES
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WASHINGTON STREET
(VARIABLE WIDTH - COUNTY LAYOUT)



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PROJECT TITLE & LOCATION:

PARKSIDE APARTMENTS &
PARKSIDE CONDOMINIUMS
40B RESIDENTIAL PROJECT
383-385 WASHINGTON STREET
BRAINTREE, MA

PLAN TITLE:
CONSTRUCTION MANAGEMENT

PREPARED FOR:
THE HOLLAND COMPANIES
519 ALBANY STREET
SUITE 200
BOSTON, MA 02118

DATE: FEBRUARY 2, 2017
REVISED:



CONSTRUCTION SEQUENCING

1. A CONSTRUCTION SAFETY FENCE LIMITING ACCESS TO THE SITE SHALL BE PLACED AROUND THE PERIMETER OF THE PROPERTY TO MAKE IT SECURE.
 2. CONTRACTOR TO PLACE EROSION CONTROL BARRIER AT LIMITS OF PROPERTY WHERE POSSIBLE PRIOR TO BUILDING REMOVAL. CONTRACTOR TO ALSO PLACE CRUSHED STONE APRON AT SITE EGRESS POINT TO MINIMIZE SEDIMENT TRANSPORT OFFSITE FROM CONSTRUCTION VEHICLE TIRES.
 3. CONTRACTOR TO DEMOLISH EXISTING BUILDINGS AFTER ALL PREPARATIONS ARE MADE INCLUDING, BUT NOT LIMITED TO, UTILITY DISCONNECTS, INTERIOR DEMOLITION, HAZARDOUS WASTE REMOVAL, ETC...CONTRACTOR TO HAVE A WATER TRUCK ON HAND TO MINIMIZE FUGITIVE DUST. ALL DEBRIS TO BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
 4. THE REMAINING EROSION CONTROL DEVICES SHALL BE INSTALLED AT THE LIMITS OF THE PROPERTY AS SHOWN ON THE PLAN.
 5. TEMPORARY STORMWATER CONTROL DEVICES SHALL BE INSTALLED IF EROSION CONTROL DEVICES DO NOT APPEAR TO CONTROL SAID RUNOFF.
 6. THE FOUNDATIONS SHALL BE EXCAVATED AND CONSTRUCTED IN ACCORDANCE WITH THE APPROVED BUILDING PLANS. IF BACKFILL AND/OR STRUCTURAL FILL IS NEEDED TO BE STOCKPILED ONSITE THE CONTRACTOR SHALL PLACE THEM IN THE STOCKPILE AREA CONTAINED WITHIN EROSION CONTROL BARRIER.
 7. VERTICAL CONSTRUCTION OF THE BUILDINGS SHALL PROCEED ONCE THE FOUNDATION IS INSTALLED. UTILITY CONNECTIONS FOR THE BUILDING SHALL BE INSTALLED ONE APPROVED BY UTILITY PURVEYORS.
 8. ONCE HEAVY EQUIPMENT IS NO LONGER PROPOSED FOR USE ON THE SITE TO CONSTRUCT THE BUILDING THE UNDERGROUND STORMWATER RECHARGE FACILITIES CAN BE CONSTRUCTED ALONG WITH THE CATCH BASINS AND DRAIN MANHOLES. ONCE INSTALLED THE SITE CAN BE BACK FILLED AND ROUGH GRADED.
 9. FINE GRADE THE SITE, PREPARE FOR PAVING AND PAVE THE SITE.
 10. PROTECT THE CATCH BASIN INLETS DURING FINAL CONSTRUCTION.
 11. LANDSCAPE THE PROPERTY.
 12. PERFORM FINAL CLEANUP.
- TBR - TO BE REMOVED

EXISTING:	PROPOSED:



WASHINGTON STREET
(VARIABLE WIDTH- COUNTY LAYOUT)

STORRS AVENUE
(40 FOOT WIDE- PUBLIC)

ZONING SCHEDULE

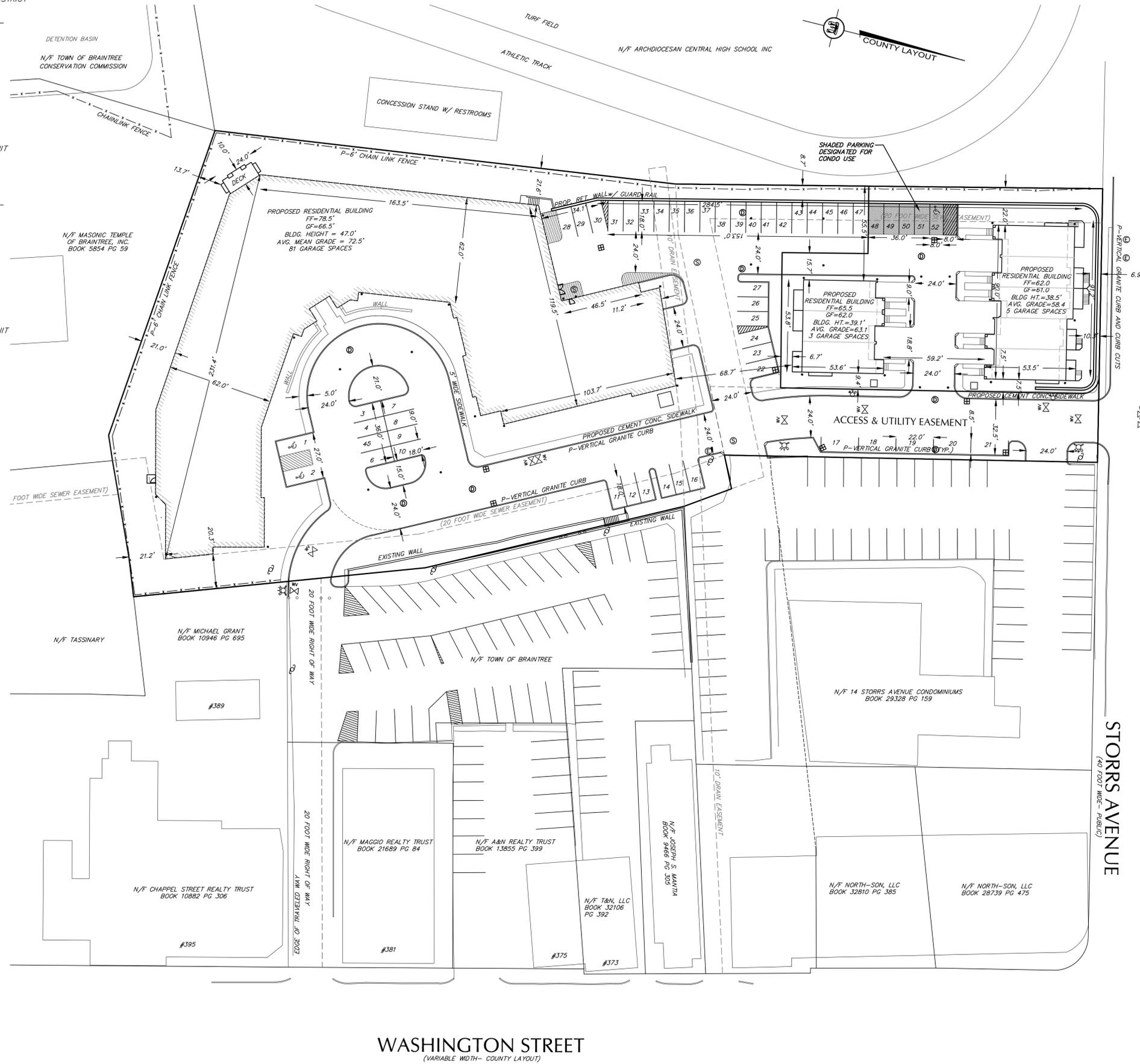
LOT ZONING CLASSIFICATION : GENERAL BUSINESS (GB); VILLAGE OVERLAY DISTRICT

LOT 1	ZONING REQUIREMENT	PROPOSED
MINIMUM LOT SIZE	5,000-15,000 S.F.	93,866 S.F.
MIN. LOT WIDTH	25-50 FEET	40 FEET
MINIMUM LOT FRONTAGE	25-50 FEET	50 FEET
MINIMUM LOT DEPTH	60-85 FEET	400+ FEET
MAXIMUM SETBACK	15 FEET	248.3 FEET
MINIMUM FRONT YARD SETBACK	0-10 FEET	248.3 FEET
MINIMUM SIDE YARD SETBACK	0-10 FEET	20.3 FEET
MINIMUM REAR YARD SETBACK	20 FEET	21.0 FEET
MAXIMUM BUILDING HEIGHT	50 FEET	47.0 FEET
MAXIMUM NUMBER OF STORIES	3	3
MAXIMUM BUILDING COVERAGE	80%	31.8%
MAXIMUM LOT COVERAGE	90%	73.9%
MINIMUM OPEN SPACE	10%	26.1%
MIN. PARKING SPACES/DWELLING UNIT	2 PER UNIT	1.83 PER UNIT

128 PARKING SPACES - 70 UNITS
47 SURFACE PARKING SPACES
81 SUB-SURFACE PARKING SPACES

LOT 2	ZONING REQUIREMENT	PROPOSED
MINIMUM LOT SIZE	5,000-15,000 S.F.	20,327 S.F.
MIN. LOT WIDTH	25-50 FEET	79 FEET
MINIMUM LOT FRONTAGE	25-50 FEET	110 FEET
MINIMUM LOT DEPTH	60-85 FEET	137 FEET
MAXIMUM SETBACK	15 FEET	21.0 FEET
MINIMUM FRONT YARD SETBACK	0-10 FEET	6.9 FEET
MINIMUM SIDE YARD SETBACK	0-10 FEET	7.5 FEET
MINIMUM REAR YARD SETBACK	20 FEET	6.7 FEET
MAXIMUM BUILDING HEIGHT	50 FEET	39.6 FEET
MAXIMUM NUMBER OF STORIES	3	2.5
MAXIMUM BUILDING COVERAGE	80%	31.8%
MAXIMUM LOT COVERAGE	90%	75.0%
MINIMUM OPEN SPACE	10%	25.0%
MIN. PARKING SPACES/DWELLING UNIT	2 PER UNIT	2.62 PER UNIT

21 PARKING SPACES - 8 UNITS



EXISTING:	PROPOSED:

DeCELLE

BURKE
& Associates, Inc.
1266 Furnace Brook Parkway Quincy, MA 02169
(617) 405-5100 (O) (617) 405-5101 (F)

JAMES W. BURKE, PE
DATE

GENERAL NOTES:

ZONING: GENERAL BUSINESS

MINIMUM REQUIREMENTS:
AREA: 15,000 S.F.
FRONT SETBACK: 10'
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BUILDING COVERAGE: 70%
MIN OPEN SPACE: 10%

CURRENT OWNER:
383 WASHINGTON STREET LLC
519 ALBANY STREET, SUITE 200
BOSTON, MA 02122

DEED REFERENCE:
Book 30862 Page 314
Book 14283 Page 545
Book 14283 Page 550

PLAN REFERENCE:
Book 455 Page 272
Book 4284 Page 179
LC PLAN 3751D

ASSESSORS REFERENCE:
MAP 2028 LOT 31

PROJECT TITLE & LOCATION:

PARKSIDE APARTMENTS & PARKSIDE CONDOMINIUMS
40B RESIDENTIAL PROJECT
383-385 WASHINGTON STREET
BRAINTREE, MA

PLAN TITLE:

PROPOSED LAYOUT

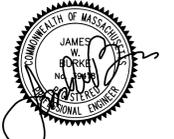
PREPARED FOR:

THE HOLLAND COMPANIES
519 ALBANY STREET
SUITE 200
BOSTON, MA 02118

DATE: FEBRUARY 2, 2017
REVISED:

JOB NUMBER: 185.033 **SHEET** 5 **OF** 10

SCALE: 1"=30'



GENERAL NOTES:

ZONING: GENERAL BUSINESS
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 AREA: 15,000 S.F.
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 MAP 2028 LOT 31

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40B RESIDENTIAL PROJECT
 383-385 WASHINGTON STREET
 BRAINTREE, MA

PLAN TITLE:

PROPOSED GRADING

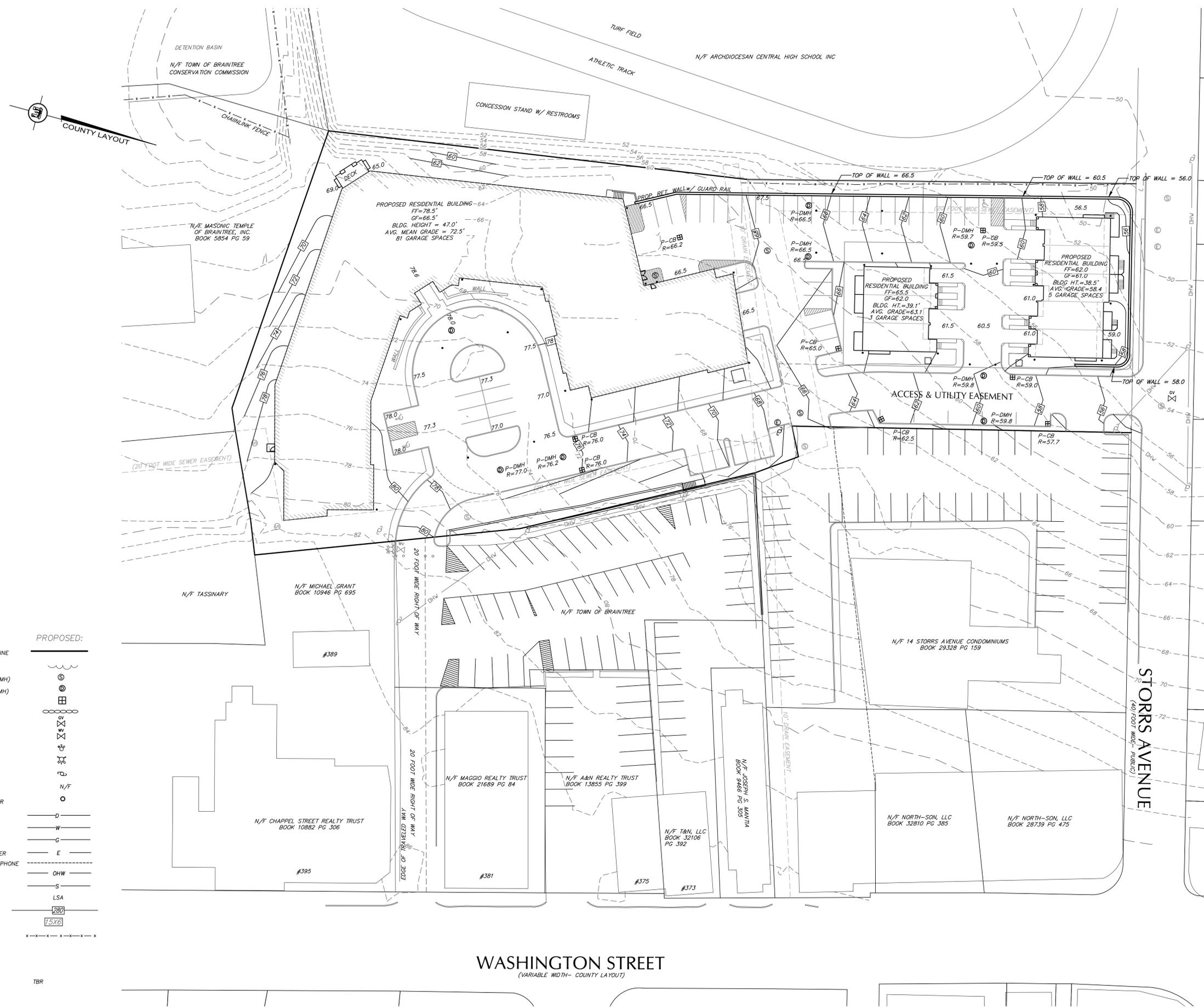
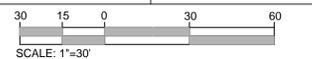
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 519 ALBANY STREET
 SUITE 200
 BOSTON, MA 02118

DATE: FEBRUARY 2, 2017

REVISED:

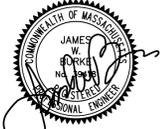
JOB NUMBER: 185.033 SHEET 6 OF 10



EXISTING:		PROPOSED:	
	- LOCUS PROPERTY LINE		- TREE LINE
	- SEWER MANHOLE (SMH)		- DRAIN MANHOLE (DMH)
	- CATCH BASIN (CB)		- STONEWALL
	- GAS VALVE		- WATER VALVE
	- WATER SERVICE		- HYDRANT
	- UTILITY POLE		- NOW OR FORMERLY
	- IRON PIPE OR REBAR		- DRAIN PIPE
	- WATER MAIN		- GAS SERVICE
	- UNDERGROUND POWER		- UNDERGROUND TELEPHONE
	- OVERHEAD WIRES		- SEWER MAIN
	- LANDSCAPED AREA		- LSA
	- GRADE		- SPOT GRADE
	- CHAIN LINK FENCE		- TEST PIT
	- CONIFEROUS TREE		- DECIDUOUS TREE
	- TO BE REMOVED		

WASHINGTON STREET
 (VARIABLE WIDTH- COUNTY LAYOUT)

TBR



GENERAL NOTES:
ZONING: GENERAL BUSINESS
MINIMUM REQUIREMENTS:
AREA: 15,000 S.F.
FRONT SETBACK: 10'
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BOSTON, MA 02122

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ASSESSORS REFERENCE:
MAP 2028 LOT 31

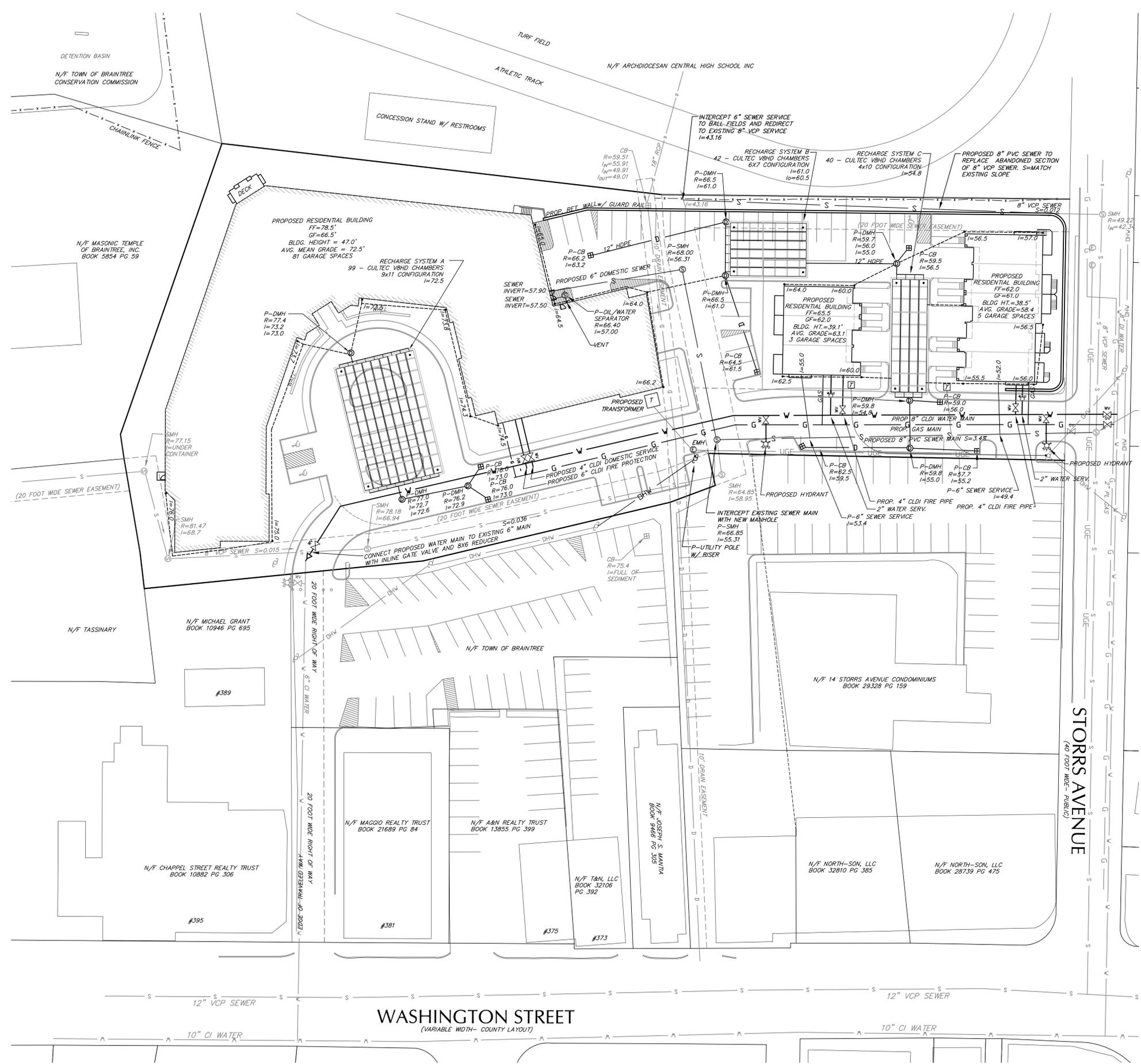
PROJECT TITLE & LOCATION:
PARKSIDE APARTMENTS & PARKSIDE CONDOMINIUMS
40B RESIDENTIAL PROJECT
383-385 WASHINGTON STREET
BRAINTREE, MA

PLAN TITLE:
PROPOSED UTILITIES

PREPARED FOR:
THE HOLLAND COMPANIES
519 ALBANY STREET
SUITE 200
BOSTON, MA 02118

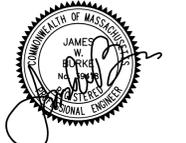
DATE: FEBRUARY 2, 2017
REVISED:

JOB NUMBER: 185.033 **SHEET** 7 **OF** 10
SCALE: 1"=30'



EXISTING:	PROPOSED:
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— TREE LINE	— TREE LINE
— SEWER MANHOLE (SMH)	— SEWER MANHOLE (SMH)
— DRAIN MANHOLE (DMH)	— DRAIN MANHOLE (DMH)
— CATCH BASIN (CB)	— CATCH BASIN (CB)
— STONEWALL	— STONEWALL
— GAS VALVE	— GAS VALVE
— WATER VALVE	— WATER VALVE
— WATER SERVICE	— WATER SERVICE
— HYDRANT	— HYDRANT
— UTILITY POLE	— UTILITY POLE
— NOW OR FORMERLY	— NOW OR FORMERLY
— IRON PIPE OR REBAR	— IRON PIPE OR REBAR
— DRAIN PIPE	— DRAIN PIPE
— WATER MAIN	— WATER MAIN
— GAS SERVICE	— GAS SERVICE
— UNDERGROUND POWER	— UNDERGROUND POWER
— UNDERGROUND TELEPHONE	— UNDERGROUND TELEPHONE
— OVERHEAD WIRES	— OVERHEAD WIRES
— SEWER MAIN	— SEWER MAIN
— LANDSCAPED AREA	— LANDSCAPED AREA
— GRADE	— GRADE
— SPOT GRADE	— SPOT GRADE
— CHAIN LINK FENCE	— CHAIN LINK FENCE
— TEST PIT	— TEST PIT
— CONIFEROUS TREE	— CONIFEROUS TREE
— DECIDUOUS TREE	— DECIDUOUS TREE
— TO BE REMOVED	— TO BE REMOVED





JAMES W. BURKE, PE DATE

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PARKSIDE APARTMENTS &
PARKSIDE CONDOMINIUMS
40B RESIDENTIAL PROJECT
383-385 WASHINGTON STREET
BRAINTREE, MA

PLAN TITLE:

PROPOSED UTILITY PROFILE

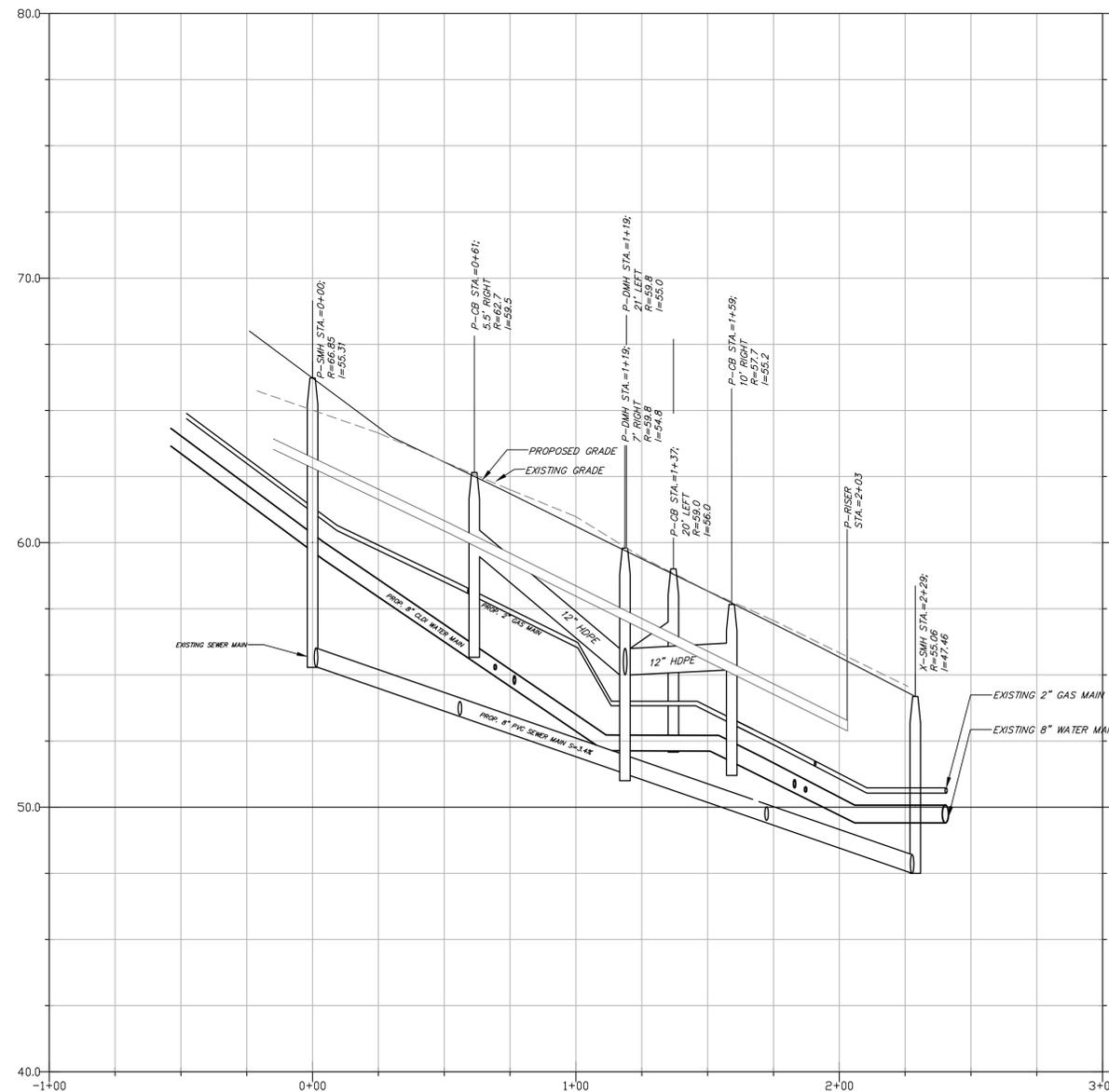
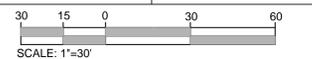
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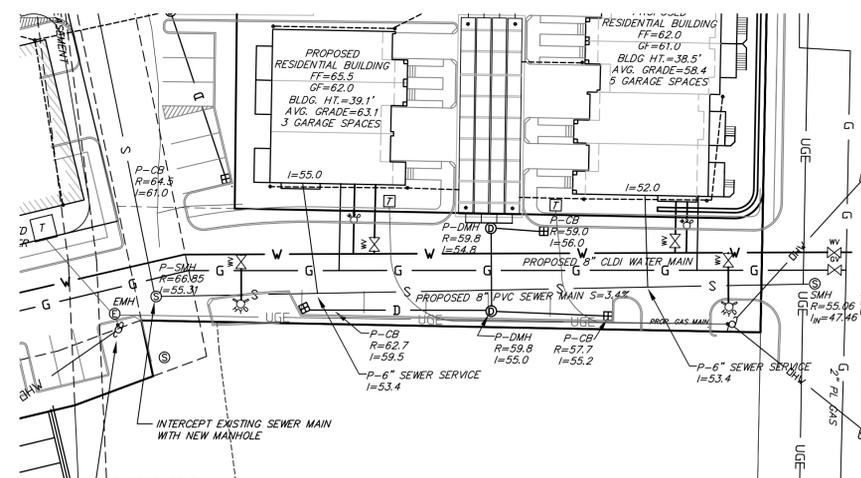
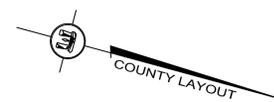
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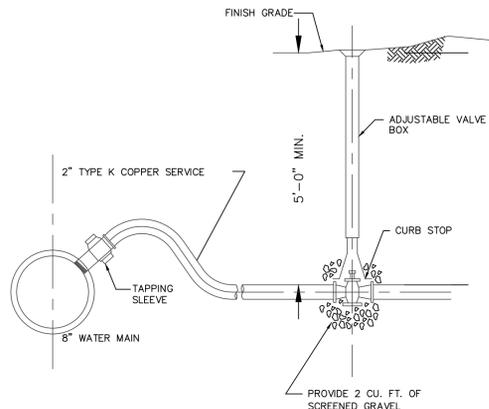
JOB NUMBER: 185.033 SHEET 8 OF 10



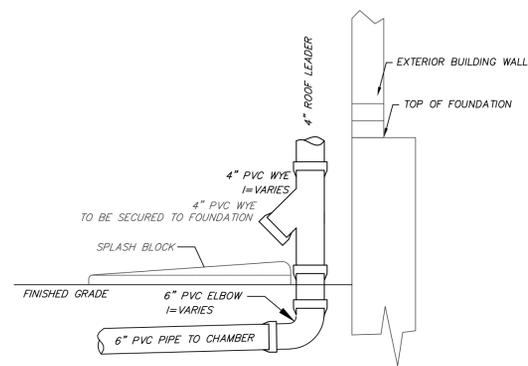
UTILITY PROFILE
HORIZONTAL SCALE = 1" = 30'
VERTICAL SCALE = 1" = 3'



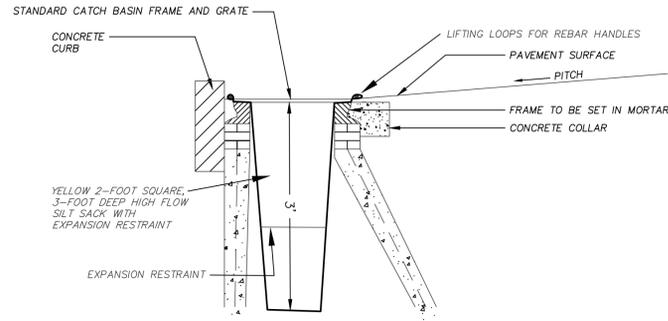
PROFILE PLAN VIEW
SCALE: 1" = 30'



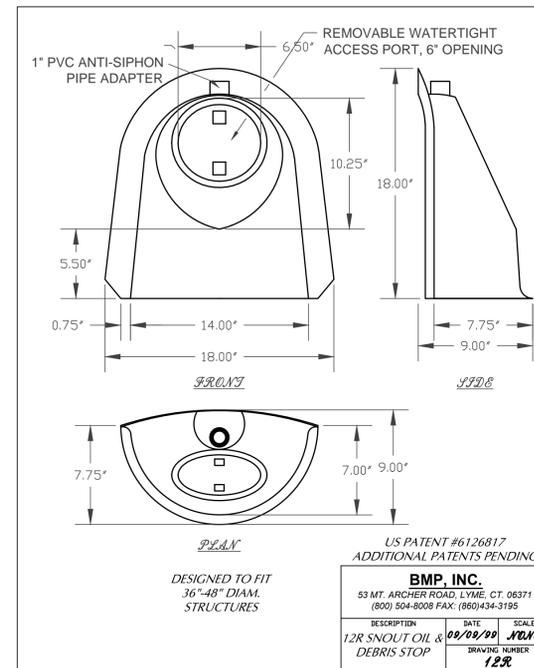
**TAPPING SLEEVE & GATE VALVE
FOR 2" COPPER DOMESTIC WATER SERVICE**
N.T.S.



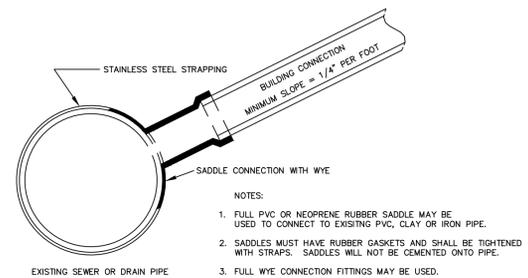
TYPICAL ROOF DRAIN W/ OVERFLOW
N.T.S.



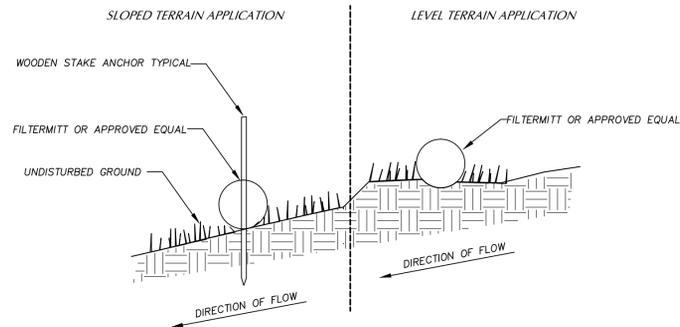
CATCH BASIN SILT SACK
N.T.S.



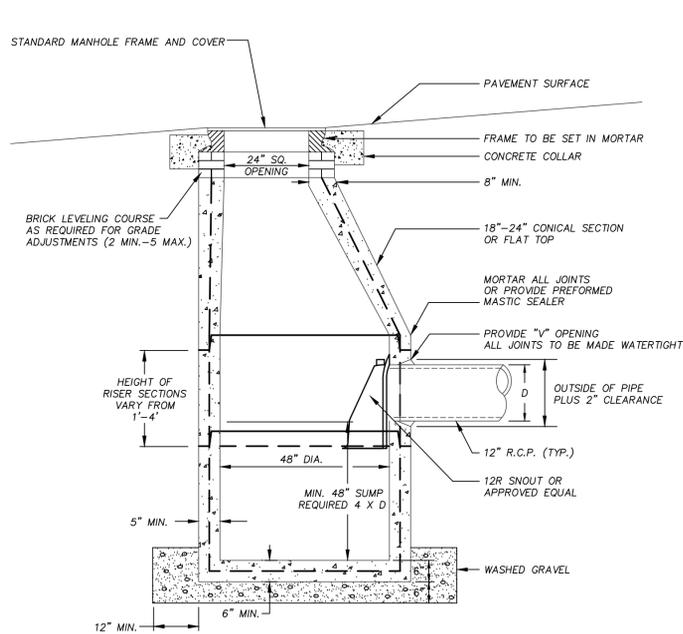
DEEP SUMP MANHOLE OUTLET BAFFLE
N.T.S.



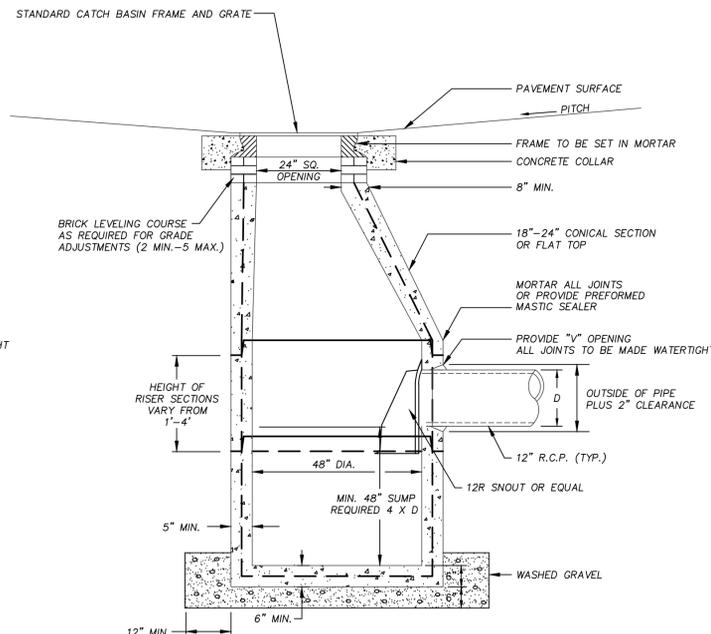
DRAIN AND SEWER SADDLE CONNECTION
N.T.S.



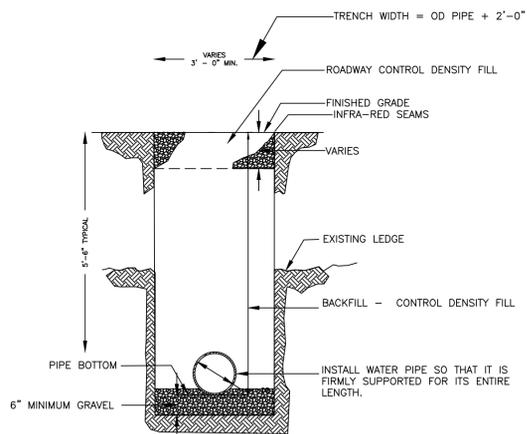
FILTERMITT OR EQUIVALANT
NOT TO SCALE



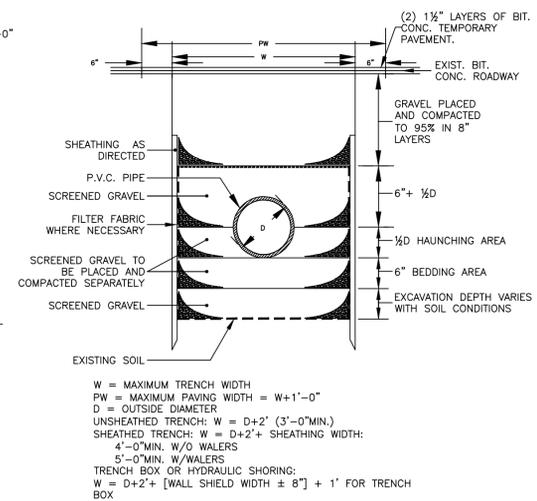
DEEP SUMP DRAIN MANHOLE
NOT TO SCALE



PRECAST CONCRETE CATCH BASIN
NOTE: REFER TO DROP INLET THROAT DETAIL



TYPICAL WATER TRENCH DETAIL
N.T.S.



TYPICAL P.V.C. TRENCH
N.T.S.

DeCELLE



BURKE & Associates, Inc.
1266 Furnace Brook Parkway Quincy, MA 02169
(617) 405-5100 (O) (617) 405-5101 (F)



JAMES W. BURKE DATE

GENERAL NOTES:

ZONING: GENERAL BUSINESS
MINIMUM REQUIREMENTS:
AREA: 15,000 S.F.
FRONT SETBACK: 10'
SIDE SETBACK: 10'
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PARKSIDE CONDOMINIUMS
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383-385 WASHINGTON STREET
BRAINTREE, MA

PLAN TITLE:
CONSTRUCTION DETAILS

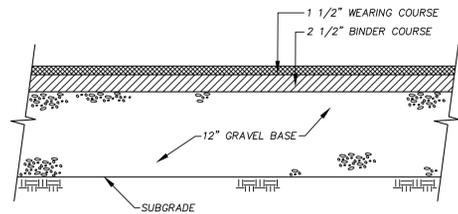
PREPARED FOR:
THE HOLLAND COMPANIES
519 ALBANY STREET
SUITE 200
BOSTON, MA 02118

DATE: FEBRUARY 2, 2017

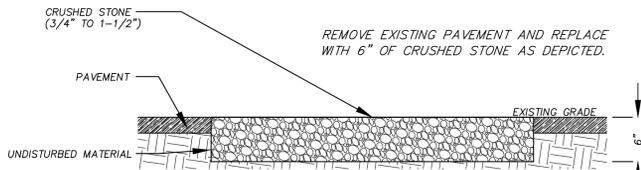
REVISED:

JOB NUMBER: 185.033 SHEET 9 OF 10



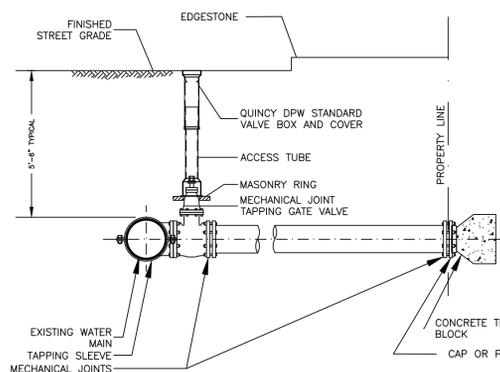


PAVEMENT SECTION
NOT TO SCALE

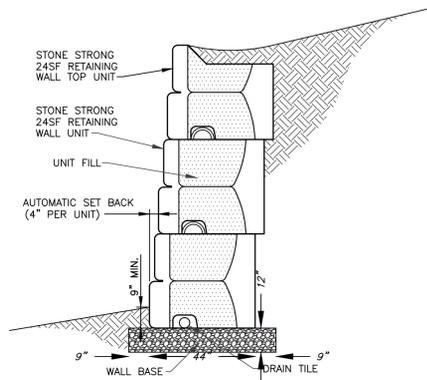


25'x25' CRUSHED STONE APRON
NOT TO SCALE

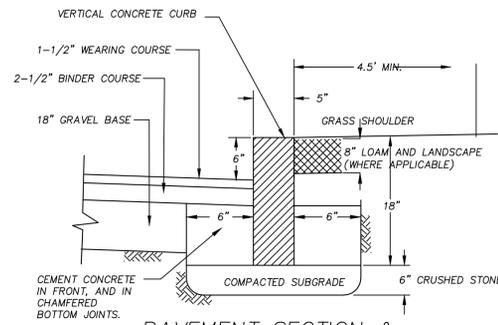
NOTES:
 - CONCRETE THRUST BLOCK TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH.
 - USE RESTRAINED JOINT FITTINGS (MEGALUG OR APPROVED EQUAL) WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE.
 - SIZE OF BLOCK OR MEGALUG TO BE DESIGNED FOR SPECIFIC CONDITIONS.



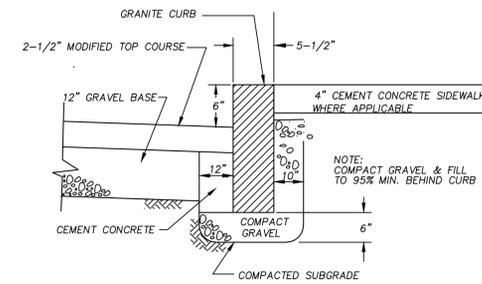
TAPPING SLEEVE & GATE VALVE
FOR 4" CLDI DOMESTIC WATER (FIRE) SERVICE
N.T.S.



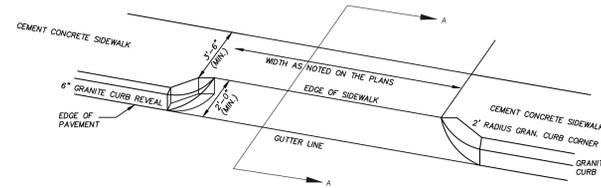
24SF GRAVITY WALL CROSS SECTION
N.T.S.



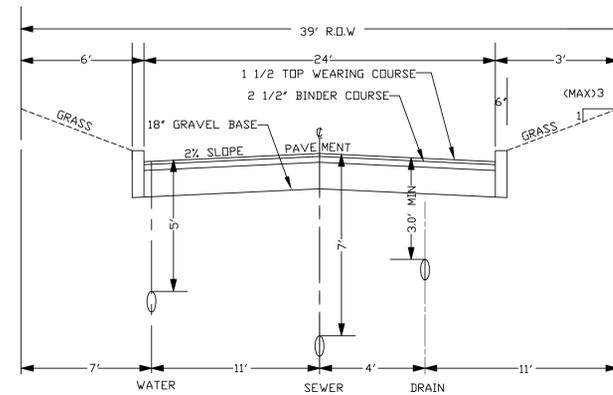
PAVEMENT SECTION &
VERTICAL CONCRETE CURB DETAIL
N.T.S.



PAVEMENT SECTION &
VERTICAL GRANITE CURB DETAIL
NOT TO SCALE

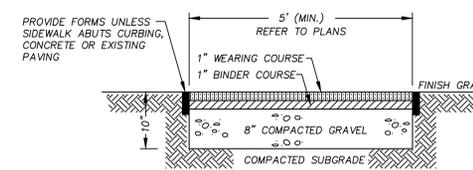


CURB CUT W/ CURB CORNER DETAIL
N.T.S.



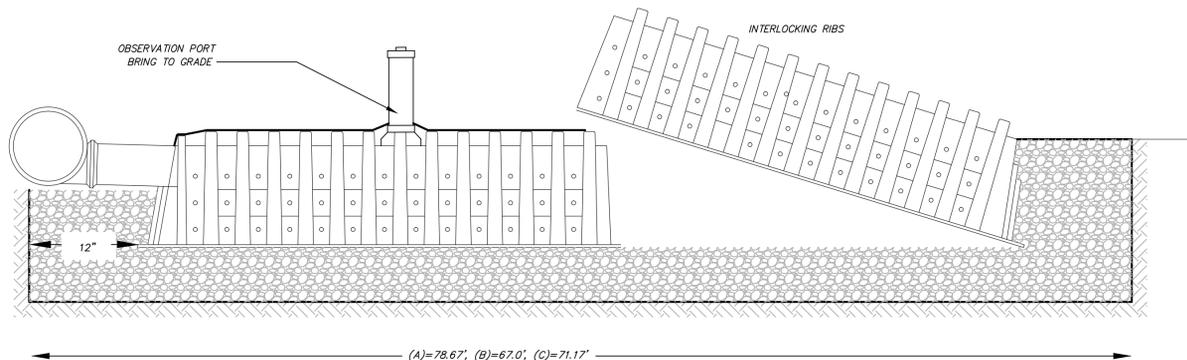
1. DRAIN TO BE LOWERED IN AREAS WHERE THERE IS DEPTH CONFLICT WITH WATER.
 2. CROSS SLOPES OF PAVEMENT, GRASS PLOT, AND SIDEWALK ARE 1/4" PER FOOT.

TYPICAL ROADWAY SECTION
NOT TO SCALE



NOTE:
 PITCH WALK TO DOWN GRADE SIDE AT 3/16" PER ONE FOOT (MAX.)

BITUMINOUS CONCRETE WALK
NOT TO SCALE



OVER-EXCAVATION NOTES:

THE CONTRACTOR SHALL REMOVE ALL TOPSOIL, SUBSOIL, AND OTHER DELETERIOUS MATERIAL WITHIN 24" OF THE LIMIT OF THE STONE SURROUNDING THE CULTREC UNIT AS INDICATED ON THE PLANS.

THE REMOVED SOIL SHALL BE DISPOSED OF IN A LEGAL MANNER.

THE REMOVED SOIL SHALL BE REPLACED WITH CLEAN GRANULAR SAND CONFORMING TO THE FOLLOWING SIEVE ANALYSIS:

% PASSING	SIEVE SIZE
100	#4
10-100	#50
0-20	#100
0-5	#200

OBSERVATION PORT INSTALLATION NOTES:

CONTRACTOR TO CUT 6" HOLE AT TOP OF CHAMBER IN THE CENTER OF THE UNIT.

INSERT A 6" INTERNAL COUPLING INTO INSPECTION PORT OPENING.

USE A 6" SCH.40 PVC PIPE TO BRING INSPECTION PORT TO WITHIN 6" OF FINISHED GRADE.

INSTALL A 6" SCH.40 END CAP OR PLUG.

BACKFILL IN ACCORDANCE WITH SPECIFICATIONS.

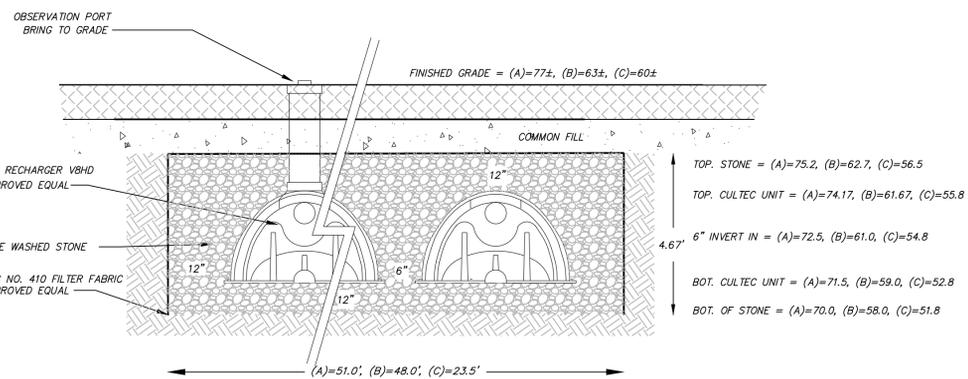
CULTEC CHAMBER INSTALLATION NOTES:

CONTRACTOR TO INSTALL CULTREC CHAMBERS IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

CULTEC NO. 410 FILTER FABRIC OR APPROVED EQUAL TO BE PLACED OVER THE TOP OF THE DRAINAGE SYSTEM PRIOR TO BACKFILL.

CONTRACTOR TO REMOVE ALL LOAM, SUBSOIL AND ALL DELETERIOUS MATERIAL FROM EXCAVATION PRIOR TO PLACEMENT OF THE STONE BED.

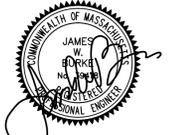
CULTEC CHAMBER TYPICAL PROFILE
NOT TO SCALE



CULTEC CHAMBER TYPICAL SECTION
NOT TO SCALE



BURKE & Associates, Inc.
 1266 Furnace Brook Parkway Quincy, MA 02169
 (617) 405-5100 (O) (617) 405-5101 (F)



JAMES W. BURKE DATE

GENERAL NOTES:

ZONING: GENERAL BUSINESS

MINIMUM REQUIREMENTS:
 AREA: 15,000 S.F.
 FRONT SETBACK: 10'
 SIDE SETBACK: 10'
 REAR SETBACK: 20'
 LOT FRONTAGE/WIDTH: 50/100
 MAX HEIGHT: 3 STY
 BUILDING COVERAGE: 70%
 MIN OPEN SPACE: 10%

CURRENT OWNER:

383 WASHINGTON STREET LLC
 519 ALBANY STREET, SUITE 200
 BOSTON, MA 02122

DEED REFERENCE:

Book 30862 Page 314
 Book 14283 Page 545
 Book 14283 Page 550

PLAN REFERENCE:

Book 455 Page 272
 Book 4284 Page 179
 LC PLAN 3751D

ASSESSORS REFERENCE:

MAP 2028 LOT 31

PROJECT TITLE & LOCATION:

PARKSIDE APARTMENTS &
 PARKSIDE CONDOMINIUMS
 40B RESIDENTIAL PROJECT
 383-385 WASHINGTON STREET
 BRAINTREE, MA

PLAN TITLE:

CONSTRUCTION DETAILS

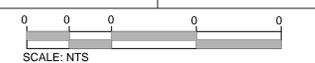
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 SUITE 200
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SCALE: NTS