

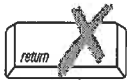


# WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

## A. General Information

**Important:**  
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



1. Applicant:

Jaclyn Chandler		jaclynchandler22@gmail.com	
Name		E-Mail Address	
117 Elliot St			
Mailing Address			
Braintree		MA	02184
City/Town		State	Zip Code
207-229-8604			
Phone Number		Fax Number (if applicable)	

2. Representative (if any):

Firm			
Contact Name		E-Mail Address	
Mailing Address			
City/Town		State	Zip Code
Phone Number		Fax Number (if applicable)	

## B. Determinations

1. I request the Braintree Conservation Commission make the following determination(s). Check any that apply:

- a. whether the **area** depicted on plan(s) and/or map(s) referenced below is an area subject to jurisdiction of the Wetlands Protection Act.
- b. whether the **boundaries** of resource area(s) depicted on plan(s) and/or map(s) referenced below are accurately delineated.
- c. whether the **work** depicted on plan(s) referenced below is subject to the Wetlands Protection Act.
- d. whether the area and/or work depicted on plan(s) referenced below is subject to the jurisdiction of any **municipal wetlands ordinance** or **bylaw** of:

& Braintree Wetland Bylaw Chp. 12.20

Name of Municipality

- e. whether the following **scope of alternatives** is adequate for work in the Riverfront Area as depicted on referenced plan(s).



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## C. Project Description

1. a. Project Location (use maps and plans to identify the location of the area subject to this request):

117 Elliot St	Braintree
Street Address	City/Town
32638, 89 Location:	3031A 01
F_799095_2903689	Parcel/Lot Number

b. Area Description (use additional paper, if necessary):

Front of existing house at 117 Elliot Street

c. Plan and/or Map Reference(s):

Chandler Permit Set Revised 07.08.2021.pdf	10/19/2021
Title	Date
P2290-01.pdf	10/19/2021
Title	Date
_____	_____
Title	Date

2. a. Work Description (use additional paper and/or provide plan(s) of work, if necessary):

Adding a 28" 1' long and 5" deep covered farmers porch on the front of existing property. This will require 12" in dia. footings.



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### C. Project Description (cont.)

b. Identify provisions of the Wetlands Protection Act or regulations which may exempt the applicant from having to file a Notice of Intent for all or part of the described work (use additional paper, if necessary).

3. a. If this application is a Request for Determination of Scope of Alternatives for work in the Riverfront Area, indicate the one classification below that best describes the project.

- Single family house on a lot recorded on or before 8/1/96
- Single family house on a lot recorded after 8/1/96
- Expansion of an existing structure on a lot recorded after 8/1/96
- Project, other than a single-family house or public project, where the applicant owned the lot before 8/7/96
- New agriculture or aquaculture project
- Public project where funds were appropriated prior to 8/7/96
- Project on a lot shown on an approved, definitive subdivision plan where there is a recorded deed restriction limiting total alteration of the Riverfront Area for the entire subdivision
- Residential subdivision; institutional, industrial, or commercial project
- Municipal project
- District, county, state, or federal government project
- Project required to evaluate off-site alternatives in more than one municipality in an Environmental Impact Report under MEPA or in an alternatives analysis pursuant to an application for a 404 permit from the U.S. Army Corps of Engineers or 401 Water Quality Certification from the Department of Environmental Protection.

b. Provide evidence (e.g., record of date subdivision lot was recorded) supporting the classification above (use additional paper and/or attach appropriate documents, if necessary.)



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## D. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Request for Determination of Applicability and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge.

I further certify that the property owner, if different from the applicant, and the appropriate DEP Regional Office were sent a complete copy of this Request (including all appropriate documentation) simultaneously with the submittal of this Request to the Conservation Commission.

Failure by the applicant to send copies in a timely manner may result in dismissal of the Request for Determination of Applicability.

Name and address of the property owner:

Lyle and Jaclyn Chandler  
Name

117 Elliot St  
Mailing Address

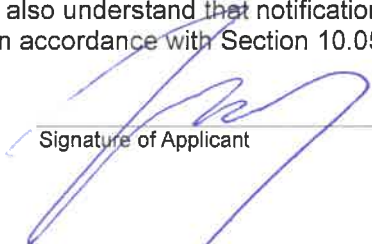
Braintree  
City/Town

MA  
State

02184  
Zip Code

Signatures:

I also understand that notification of this Request will be placed in a local newspaper at my expense in accordance with Section 10.05(3)(b)(1) of the Wetlands Protection Act regulations.

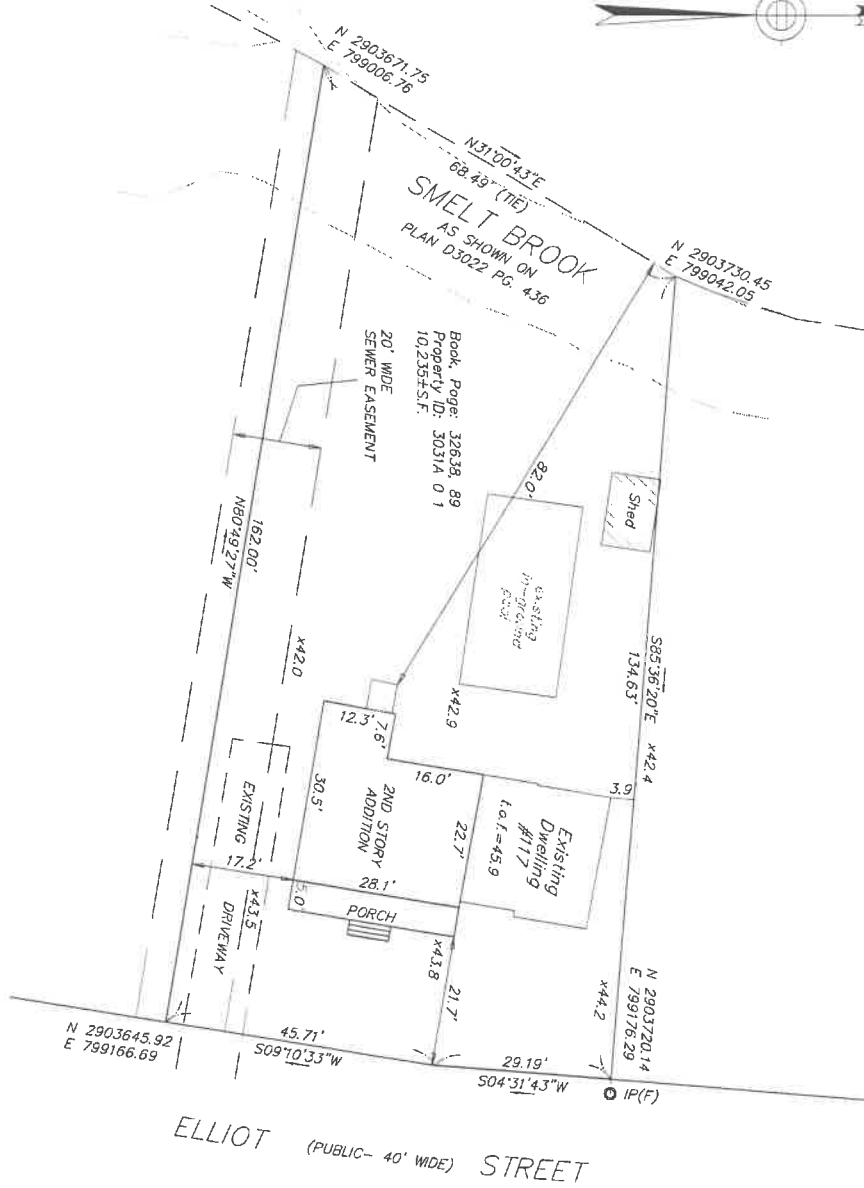
  
Signature of Applicant

10/19/21  
Date

\_\_\_\_\_  
Signature of Representative (if any)

\_\_\_\_\_  
Date

MASSACHUSETTS COORDINATE SYSTEM  
GRID NORTH - NAD 83



**EXISTING ELEVATIONS**  
AVERAGE GRADE 10' OFF STRUCTURE=43.1  
EXISTING TOP OF FOUNDATION=45.9  
ELEVATION DATUM: NAVD88

**ZONING SCHEDULE**

RESIDENTIAL B	REQUIRED
LOT AREA	15,000 S.F.
FRONT YARD	50'
FRONT YARD	20'
SIDE YARD	10'
REAR YARD	30'



**BORDERLAND ENGINEERING, INC.**  
61b Pleasant Street  
Randolph, MA 02368  
Tel: 781-963-9500  
Fax: 888-666-4131

**PROPOSED ADDITION PLOT PLAN**  
IN  
BRAINTREE, MASSACHUSETTS

117 ELLIOT STREET

PREPARED FOR: LYLE CHANDLER  
117 ELLIOT STREET  
BRAINTREE, MA 02184

DRAWING SCALE: 1 INCH = 20 FEET

PROJECT NUMBER: P2290 DATE: 1-25-21



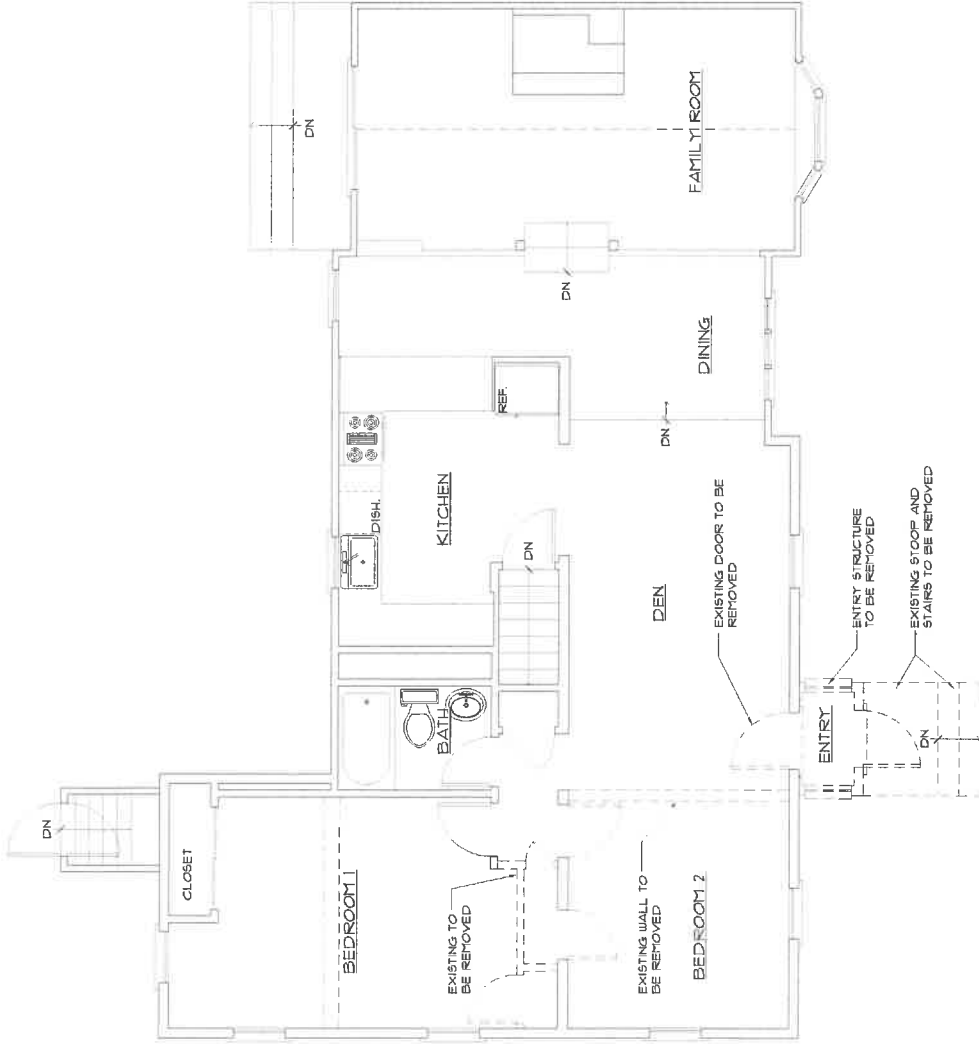
EXISTING	02/12/2020
SCHEMATIC	01/02/2021
	01/03/2021
PROGRESS	01/12/2021
CD	02/01/2021
REVISE	04/25/2021
REVISE	05/23/2021
PERMIT SET	06/11/2021

**GENERAL NOTES:**

- THE FOLLOWING NOTES ARE TYPICAL FOR ALL DRAWINGS OF THE CONTRACT DOCUMENTS.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MASSACHUSETTS BUILDING CODE, NFPA LIFE SAFETY CODE 101, AND ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES, REGULATIONS, ORDINANCES, LAWS, ETC.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF DIMENSIONS AND CONDITIONS PRIOR TO THE COMMENCEMENT OF THE WORK. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ANY DISCREPANCY OR CONFLICT BETWEEN THE CONTRACT DOCUMENTS AND ACTUAL FIELD CONDITIONS WHICH MAY AFFECT THE SCOPE OF THE WORK, PRIOR TO THE COMMENCEMENT OF THE WORK.
- DIMENSIONS, CONDITIONS AND INSTRUCTIONS INDICATED IN THE DRAWINGS MAY VARY FROM THESE CONTRACT DOCUMENT DESCRIPTIONS.
- DO NOT SCALE THESE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING THE WORK.
- IN THE CASE OF DISCREPANCIES:
  - DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE MEASUREMENTS OF DRAWINGS.
  - LARGER SCALE DRAWINGS AND DETAILS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS AND DETAILS.
  - DRAWINGS AND NOTES ARE SUPPLEMENTARY TO EACH OTHER. IN THE CASE OF DISCREPANCIES, THE MORE RESTRICTIVE AND COSTLY SHALL APPLY, UNLESS OTHERWISE APPROVED BY THE ARCHITECT.

**LIST OF DRAWINGS:**

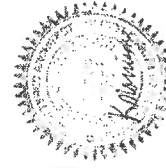
- A1 Existing/Demo Floor Plan
- A2 First Floor Plan
- A3 Second Floor Plan
- A4 Front and Right Side Exterior Elevations
- A5 Rear and Left Side Exterior Elevations
- A6 Cross Section
- A7 Foundation Plan
- A8 First Floor Framing Plan
- A9 Second Floor Framing Plan
- A10 Roof Framing Plan



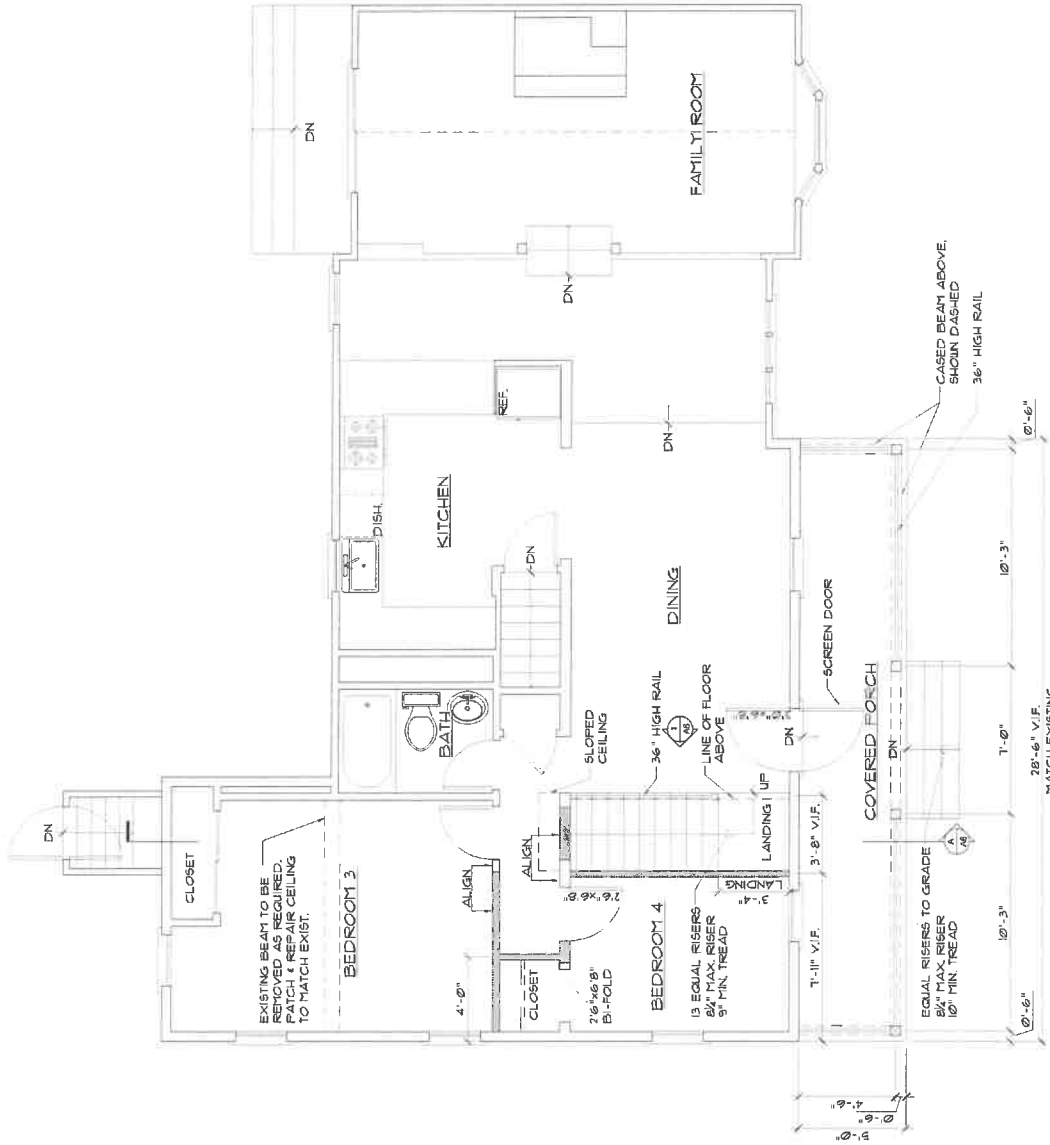
**Existing/Demo Floor Plan**

Scale: 1/4" = 1'-0"

- EXISTING WALLS
- EXISTING TO BE REMOVED

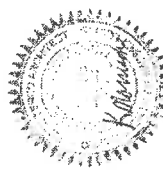


EXISTING	02/10/20
SCHEMATIC	01/02/20
PROGRESS	01/09/20
CD	01/17/20
REVISE	02/01/20
REVISE	02/25/20
REVISE	05/23/20
PERMIT SET	06/11/20



**First Floor Plan**  
 Scale: 1/4" = 1'-0"

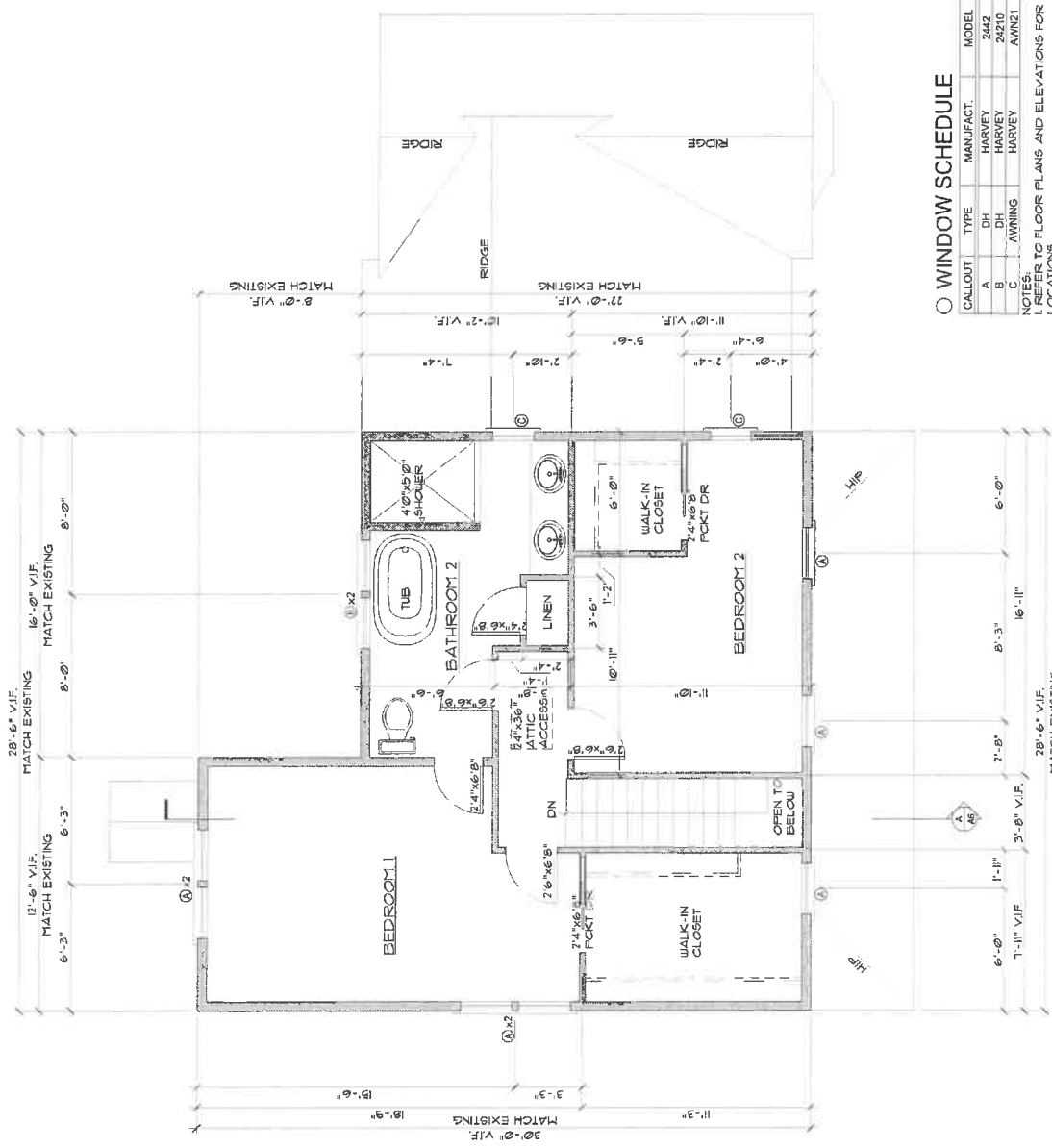
- EXISTING WALLS
- NEW WALLS



EXISTING	12.21.2020
SCHEMATIC	01.02.2021
PROGRESS	01.09.2021
CD	02.01.2021
REVISE	04.25.2021
REVISE	05.23.2021
PERMIT SET	06.17.2021

**A3**

KOM

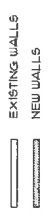


**WINDOW SCHEDULE**

CALLOUT	TYPE	MANUFACT.	MODEL	R.O. (WxH)	REMARKS
A	DH	HARVEY	2442	2'-0" X 4'-5"	EGRESS WINDOW
B	DH	HARVEY	24010	2'-0" X 3'-0"	
C	AWNING	HARVEY	AWNET	2'-0" X 2'-0"	

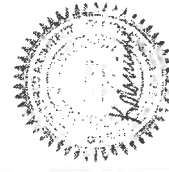
- NOTES:  
 1. REFER TO FLOOR PLANS AND ELEVATIONS FOR DOOR AND WINDOW SCHEDULE INDICATOR LOCATIONS.  
 2. ALL WINDOWS TO BE CASED WITH A MINIMUM OF 1x4 CASINGS AND LONG HORN SILL.  
 3. ALL WINDOWS TO INCLUDE SCREENS, LOU-E GLASS, AND HARDWARE COLOR AS SELECTED BY OWNER.  
 4. VERIFY WITH ELEVATIONS CASEMENT SINGS AND GRILLE LAYOUT.  
 5. ALL WOOD, HARDWARE AND FINISH MATERIALS TO BE APPROVED BY THE CLIENT.  
 6. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF WINDOW TO ARCHITECT PRIOR TO ORDERING.  
 7. ALL WINDOWS TO MEET MASSACHUSETTS STATE CODE.

**Second Floor Plan**  
Scale: 1/4" = 1'-0"

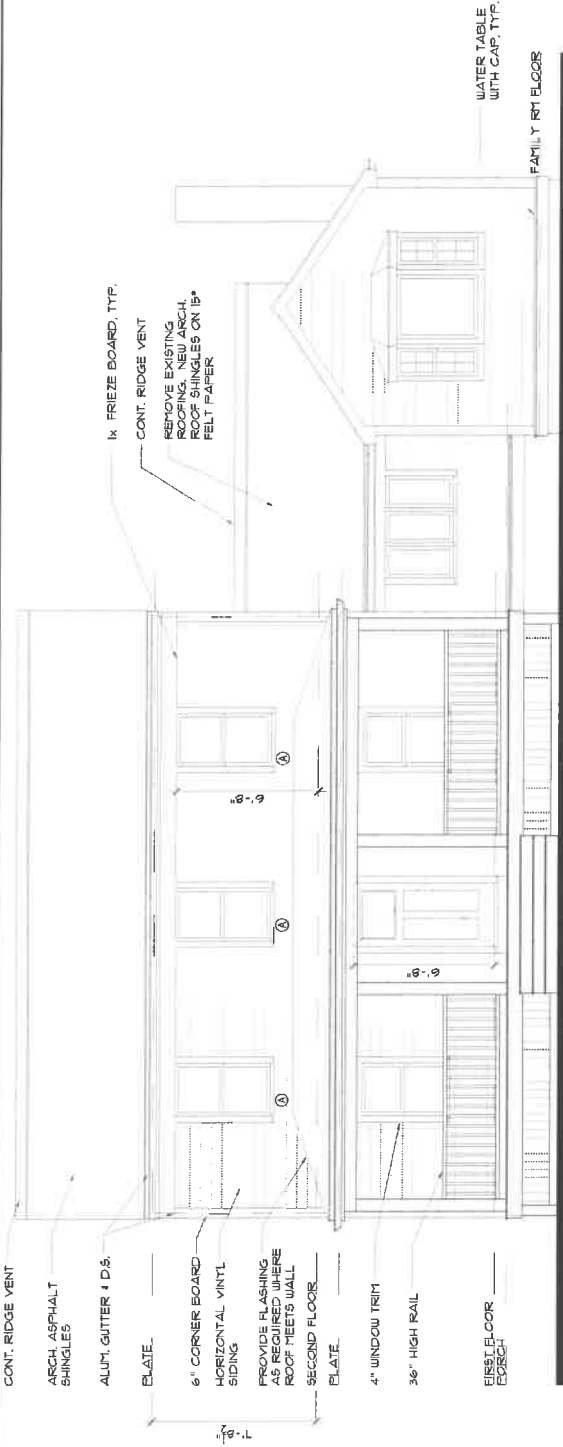


ALL DRAWINGS AND WRITTEN MATERIALS HEREBY CONSTITUTE ORIGINAL AND UNPUBLISHED WORK AND ARE THE PROPERTY OF KRISTEN MORRISON ARCHITECTS. DEVELOPED FOR USE ON THIS PROJECT AND MAY NOT BE REPRODUCED.

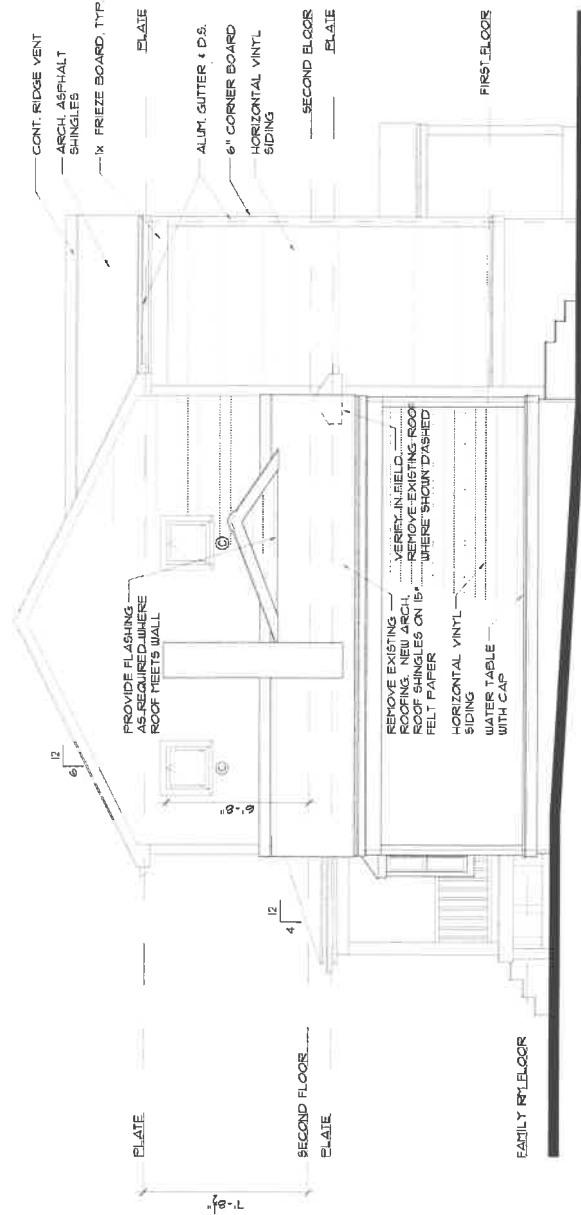




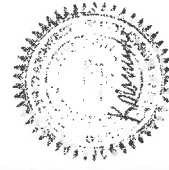
EXISTING	12/13/2019
SCHEMATIC	01/02/2021
PROGRESS	01/09/2021
CD	01/11/2021
REVISE	01/25/2021
REVISE	05/13/2021
PERMIT SET	06/11/2021



**Front Elevation**  
 Scale: 1/4" = 1'-0"



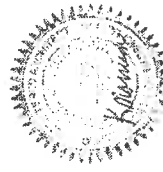
**Right Side Elevation**  
 Scale: 1/4" = 1'-0"



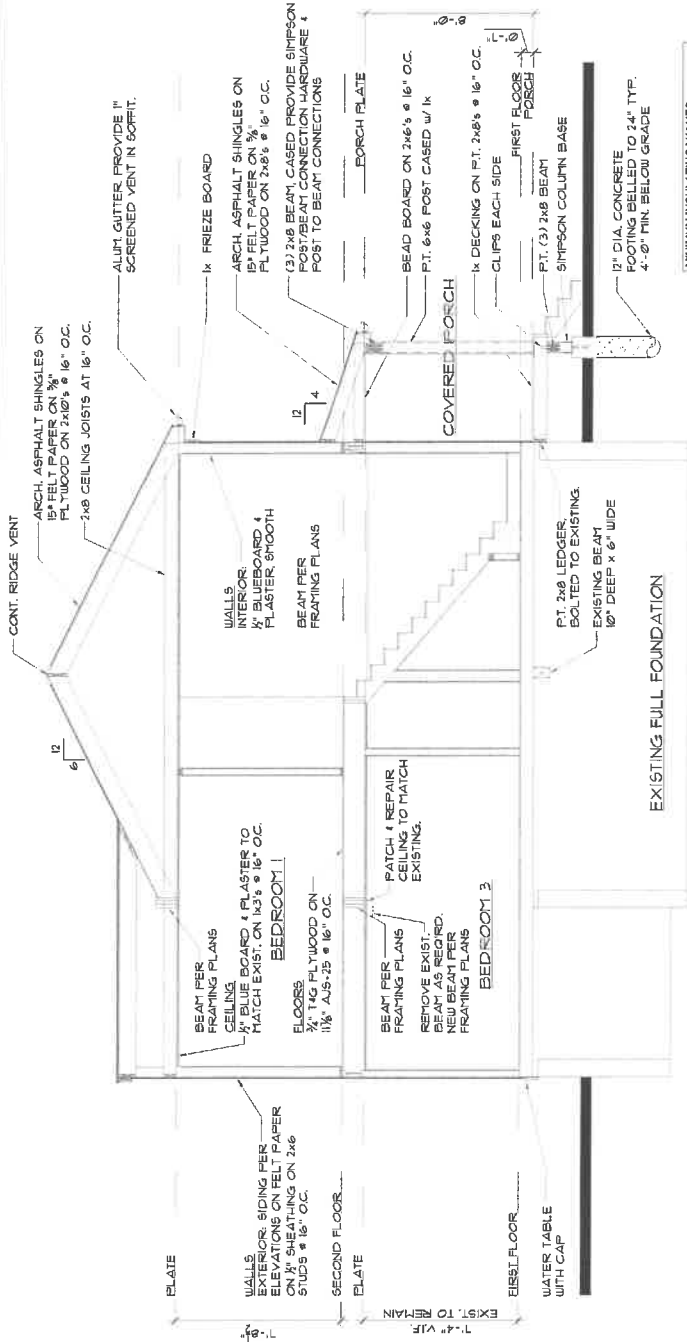
EXISTING	12/13/2020
SCHEMATIC	01/02/2021
PROGRESS	01/29/2021
CD	02/02/2021
REVISE	04/29/2021
REVISE	05/13/2021
PERMIT SET	06/11/2021



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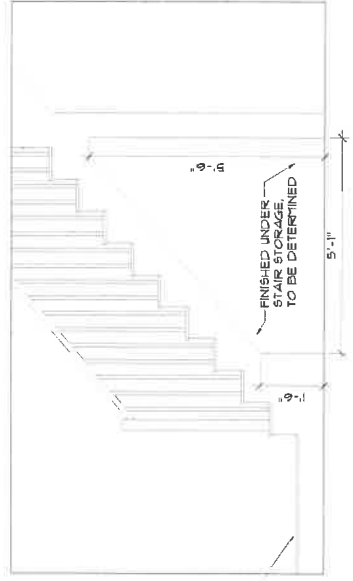
EXISTING	02/12/2020
SCHEMATIC	01/02/2021
	01/09/2021
PROGRESS	01/11/2021
CD	02/01/2021
REVISE	04/25/2021
REVISE	05/31/2021
PERMIT SET	06/11/2021



MINIMUM INSULATING VALUES	
EXTERIOR WALLS	R-21
FLOORS OVER UNCONDITIONED SPACE	R-30
ROOF/CEILING	R-48
SLAB	R-10

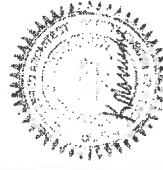
NOTE: IF SPRAY FOAM INSULATION IS USED, DO NOT VENT ROOF.

Cross Section A  
Scale: 1/2" = 1'-0"



Stair Elevation 1  
Scale: 5/8" = 1'-0"

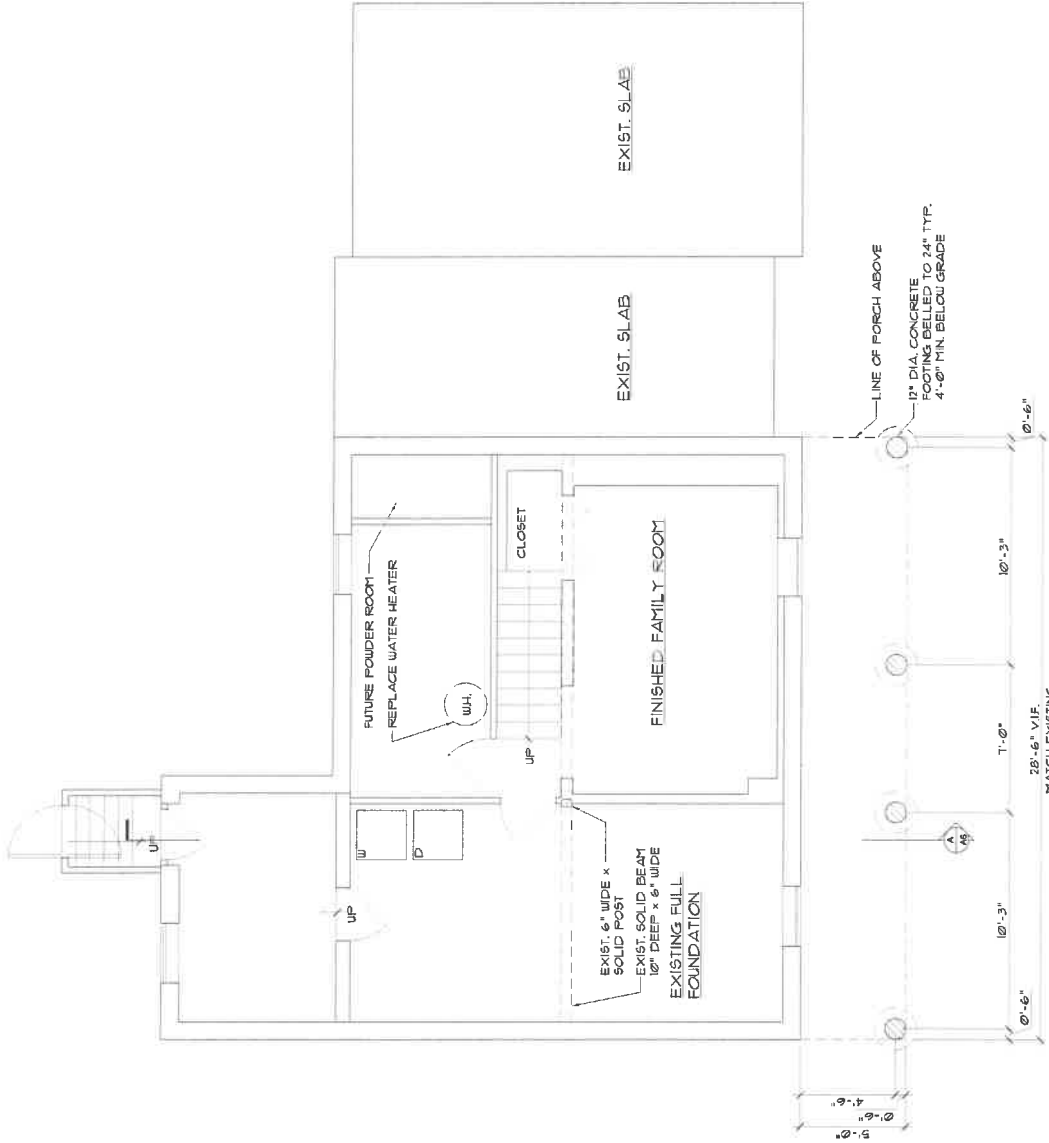
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EXISTING	12.11.2020
SCHEMATIC	01.02.2021
PROGRESS	01.09.2021
CD	01.11.2021
REVISE	02.01.2021
REVISE	04.25.2021
REVISE	05.23.2021
PERMIT SET	06.11.2021

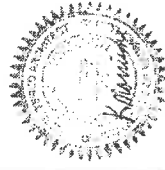
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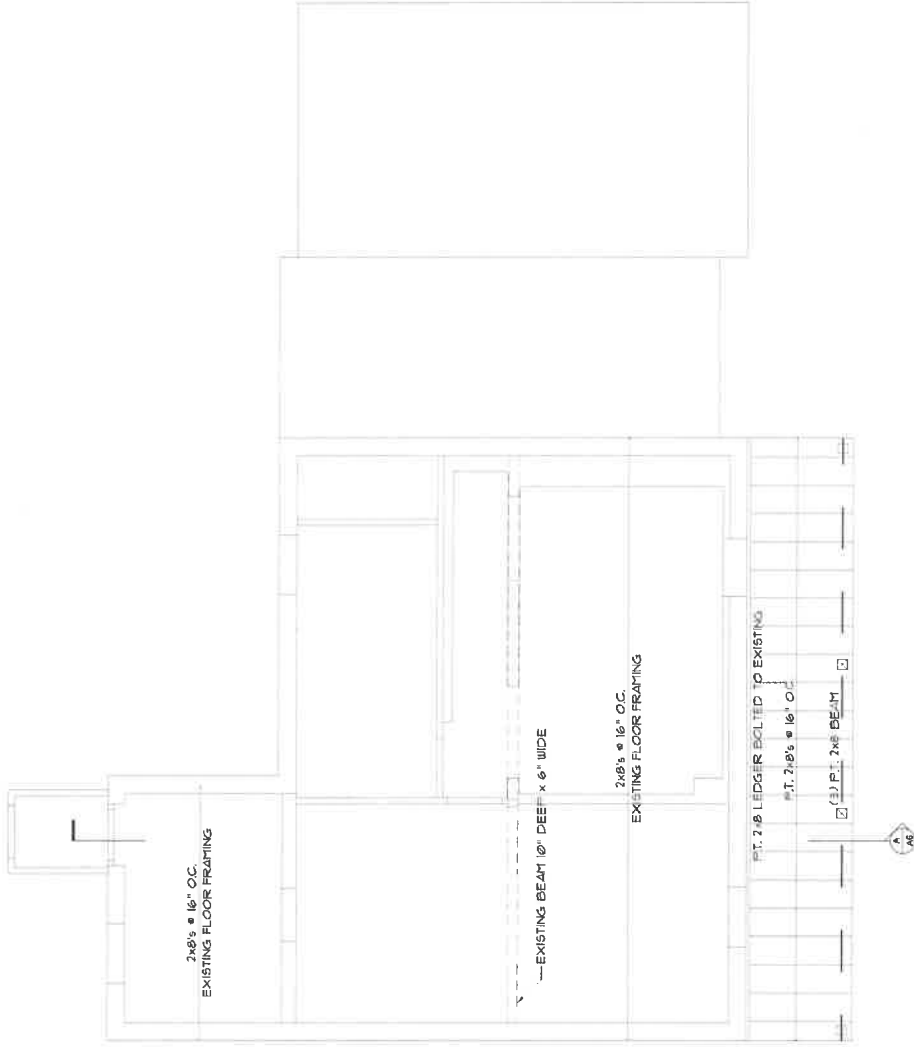


Foundation Plan  
 Scale: 1/4" = 1'-0"

- EXISTING WALLS
- NEW WALLS



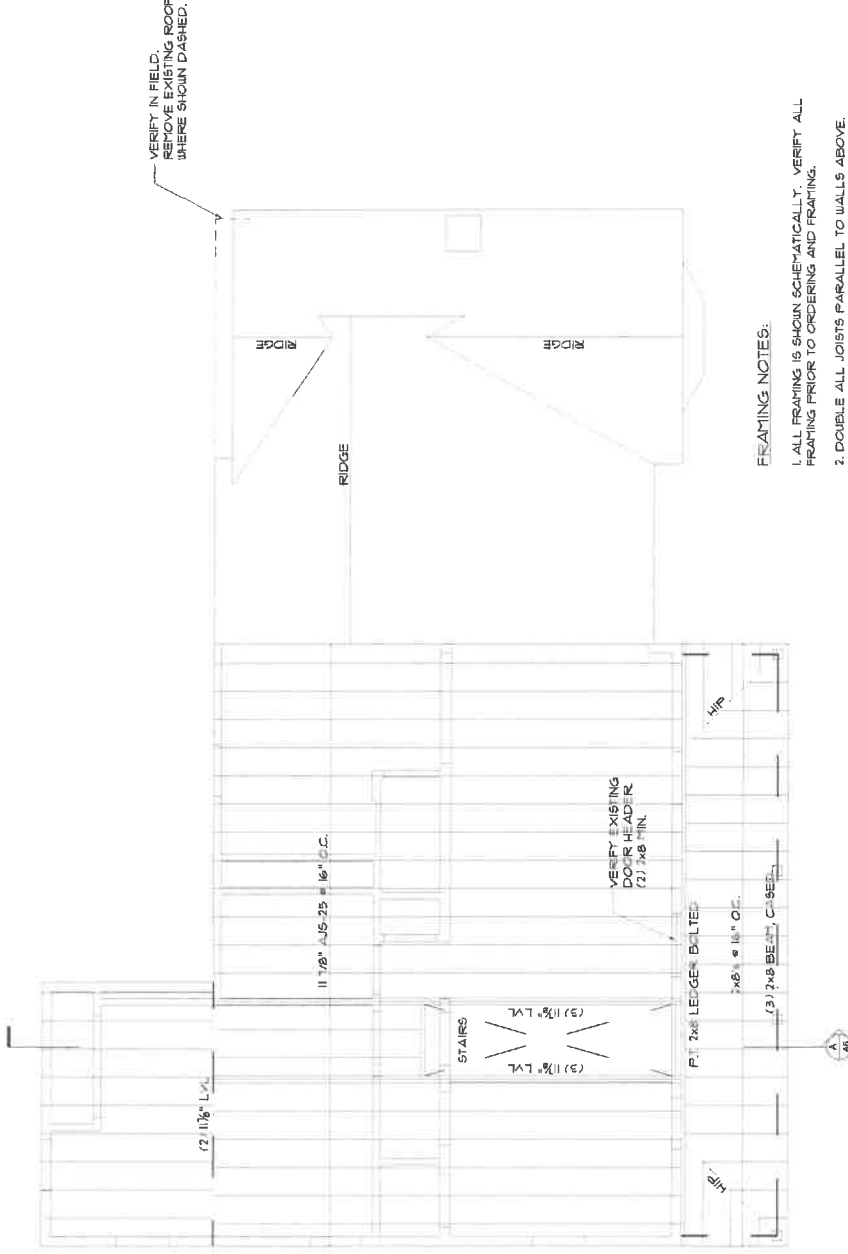
EXISTING	12/13/20
SCHEMATIC	01/03/21
PROGRESS	01/13/21
CD	02/03/21
REVISE	04/25/21
REVISE	05/23/21
PERMIT SET	06/11/21



First Floor Framing Plan  
 Scale: 1/4" = 1'-0"



EXISTING	12.11.2020
SCHEMATIC	01.02.2021
	01.09.2021
PROGRESS	01.11.2021
C.D.	02.01.2021
REVISE	04.25.2021
REVISE	05.23.2021
PERMIT SET	06.11.2021

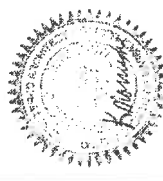


**FRAMING NOTES:**

1. ALL FRAMING IS SHOWN SCHEMATICALLY. VERIFY ALL FRAMING PRIOR TO ORDERING AND FRAMING.
2. DOUBLE ALL JOISTS PARALLEL TO WALLS ABOVE.
3. ALL WOOD BEAMS TO BE SUPPORTED BY SOLID WOOD POSTS.
4. ALL HEADERS TO BE (2) 2x8 AT ALL 2x4 WALLS; (3) 2x8 AT ALL 2x6 WALLS UNLESS NOTED. IF HEADER SIZE IS QUESTIONABLE, VERIFY WITH ARCHITECT.
5. PROVIDE FLASHING AT ALL ROOF/WALL INTERSECTIONS. FLASH MIN. 6" IN BOTH DIRECTIONS.
6. PROVIDE "ICE & WATER SHIELD" AT ALL HIP, VALLEYS, FIRST THREE FEET OF EAVE, AND ON ALL PITCHES LESS THAN 4:12.
7. ALL TRIM TO BE PRIMED ALL SIDES AND EDGES PRIOR TO INSTALLATION.
8. TJI (OR SIMILAR) TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

Second Floor Framing Plan

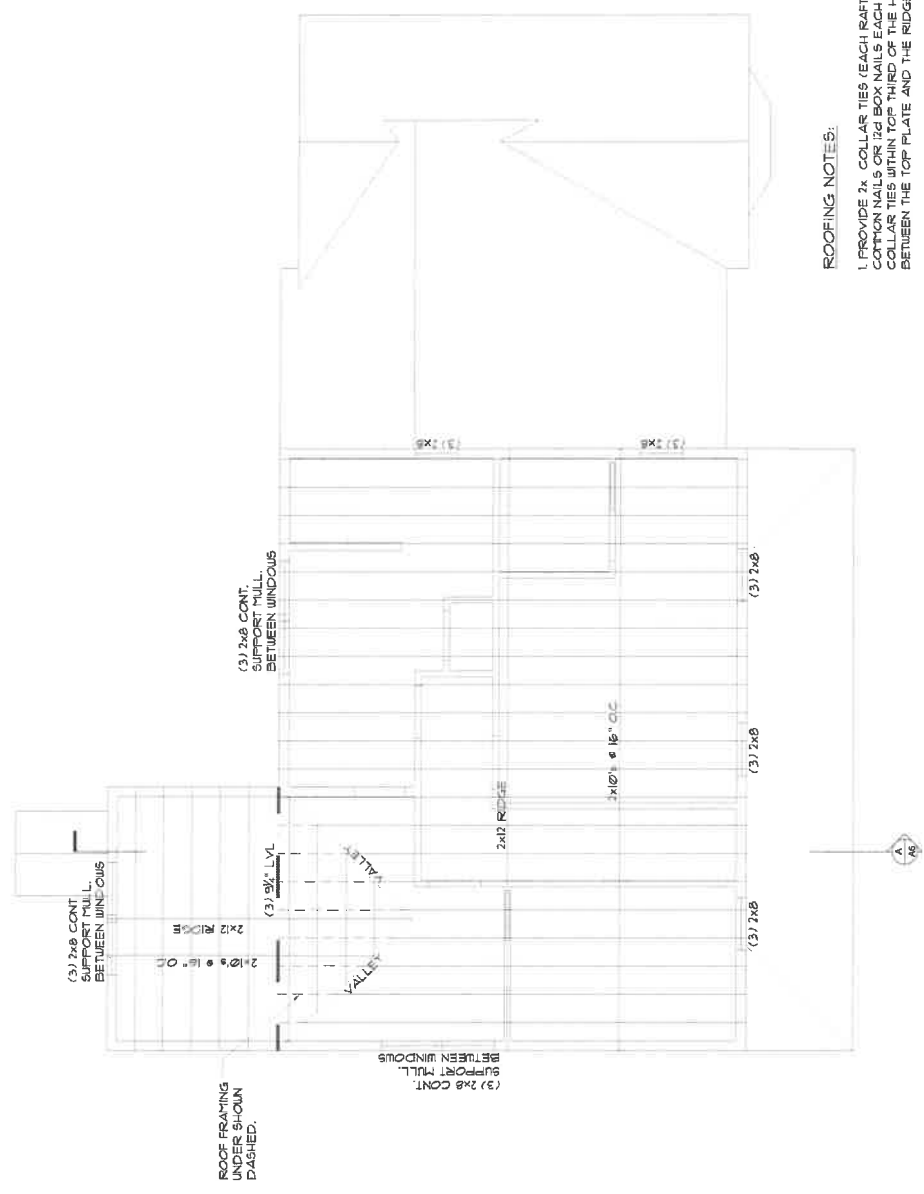
Scale: 1/4" = 1'-0"



EXISTING	02/10/20
SCHEMATIC	01/03/21
PROGRESS	01/11/21
C.D.	02/01/21
REVISE	04/15/21
REVISE	05/13/21
PERMIT SET	06/11/21

A10

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**ROOFING NOTES:**

1. PROVIDE 2" COLLAR TIES (EACH RAFTER) w/ 4-10d COMMON NAILS OR 1d SOFT NAILS PER INCH. LOCATE COLLAR TIES WITHIN TOP THIRD OF THE HEIGHT BETWEEN THE TOP PLATE AND THE RIDGE.
2. PROVIDE 3/4" EXTERIOR GRADE FLYWOOD w/ 8d COMMON NAILS @ 6" O.C. AT ALL FLYWOOD EDGES AND 12" O.C. ELSEWHERE.
3. PROVIDE SOLID BLOCKING BETWEEN RAFTERS. PROVIDE 1" CLEARANCE BETWEEN TOP OF BLOCKING AND UNDERSIDE OF RAFTER.
4. PROVIDE SIMPSON HD5 HURRICANE TIES ALL RAFTERS TO TOP PLATE CONNECTIONS.

Roof Floor Framing Plan

Scale: 1/4" = 1'-0"